

NatHERS Thermal Performance Specifications (BASIX Thermal Comfort)					
Site 2, 59 Cudgegong Road, Rouse Hill					
These are the Specifications upon which the NatHERS Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.					
Windows	Glass	Frame	U value	SHGC	Detail
Default	Single glazed, clear	Aluminium	6.70	0.57	Generally for window types: Awning, bi-fold, casement, tilt 'n' turn
Default	Single glazed, clear	Aluminium	6.70	0.70	Generally for window types: Sliding window/ door, double hung, fixed, louvre
Default	Single glazed, low E High solar gain	Aluminium	5.40	0.58	See NatHERS glazing schedule for application
Default	Single glazed, low E Low solar gain	Aluminium	5.60	0.41	See NatHERS glazing schedule for application
Default	Double glazed, clear	Aluminium	4.80	0.59	See NatHERS glazing schedule for application
Default	Double glazed, low E High solar gain	Aluminium	4.30	0.53	See NatHERS glazing schedule for application
Skylights	Glass	Frame	U value	SHGC	Detail
External walls	Construction	Added Insulation		Detail	
Brick Veneer		R2.0		To floor levels: G, 1 and 6, 7	
Concrete (AFS)		R1.5		To floor levels: 2, 3, 4, 5	
Concrete (AFS)		R2.5		To unit: C02	
Internal walls	Construction	Added Insulation		Detail	
Plasterboard on studs		None		Within units	
Concrete (AFS)		None		Party/ common walls	
Floors	Construction	Added Insulation		Covering	Detail
Concrete		None		Carpet generally; tiles wet areas	Generally
Concrete		R1.5		Carpet generally; tiles wet areas	To units: A01, A02, A03, A32, A33, A34, B01, B02, B03, B07, B32, B33, B34, C01, C02, C03, C07, C32, C33, C34, D01, D02, D03, D32, D33, D34
Ceilings	Construction	Added Insulation		Detail	
Plasterboard		None		Generally	
Plasterboard		R1.5		To ceilings below roof to units: A02, A03, B02, B03, C02, C03, D02, D03	
Plasterboard		R2.5		To all level 7 units	
Roof	Construction	Added Insulation		Detail	
Concrete		(refer to ceiling detail above)			
Metal deck		(refer to ceiling detail above)			
Other Requirements					
All exhaust fans and downlights (if installed) to be sealed to prevent air infiltration					



ARCHITECTURAL DRAWINGS

DRAWING NUMBER	DESCRIPTION	REV
DA-A000	COVER PAGE	
DA-A001	SITE SUMMARY	
DA-A100	SITE ANALYSIS	
DA-A101	SITE PLAN/NOTIFICATION	
DA-A200	BASEMENT -1	
DA-A201	BASEMENT-2	
DA-A202	GROUND FLOOR PLAN	
DA-A203	LEVEL-1	
DA-A204	LEVEL-2	
DA-A205	LEVEL-3	
DA-A206	LEVEL-4	
DA-A207	LEVEL-5	
DA-A208	LEVEL-6	
DA-A209	LEVEL-7	
DA-A210	ROOF PLAN	
DA-A300	ELEVATIONS	
DA-A301	ELEVATIONS	
DA-A302	SECTIONAL ELEVATIONS	
DA-A303	SECTIONAL ELEVATIONS	
DA-A304	SECTIONS	
DA-A305	SECTIONS	
DA-A306	26.0M BUILDING HEIGHT PLANE	
DA-A400	TYPICAL FLOOR PLANS	
DA-A500	PERSPECTIVES	
DA-A600	FSR CALCULATIONS DIAGRAMS	

ARCHITECTURAL DRAWINGS

DRAWING NUMBER	DESCRIPTION	REV
DA-A601	LANDSCAPE AREA & COMMUNAL OPEN SPACE CALC	
DA-A602	SITE COVERAGE, DEEP SOIL ZONE DIAGRAMS CALC	
DA-A603	COMMUNAL OPEN SPACE SOLAR ACCESS DIAGRAMS	
DA-A604	COMMUNAL OPEN SPACE SOLAR ACCESS DIAGRAMS	
DA-A605	SHADOW DIAGRAMS	
DA-A606	SHADOW DIAGRAMS	
DA-A607	SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS	
DA-A607.1	SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS	
DA-A607.2	3D VIEW TO SUN	
DA-A607.3	3D VIEW TO SUN	
DA-A607.4	3D VIEW TO SUN	
DA-A607.5	3D VIEW TO SUN	
DA-A607.6	SOLAR STUDY	
DA-A607.7	SOLAR STUDY	
DA-A607.8	SOLAR STUDY	
DA-A607.9	SOLAR STUDY	
DA-A607.10	SOLAR STUDY	
DA-A607.11	SOLAR STUDY	
DA-A607.12	SOLAR STUDY	
DA-A607.13	SOLAR STUDY	
DA-A700	FACADE & FENCE DETAILS	
DA-A800	UNIT SCHEDULES	
DA-A801	UNIT SCHEDULES	
DA-A900	STAGING PLANS	

PROPOSED RESIDENTIAL DEVELOPMENT
59 CUDGEGONG ROAD ROUSE HILL, NSW 2155

SITE 2

EXECUTIVE SUMMARY

	REQUIRED	PROPOSED
01. SITE AREA	-	DEVELOPABLE SITE AREA 11740.00m²
02. ZONE	R3	MEDIUM DENSITY
03. BUILDING HEIGHT	MAX. 26m	26m
04. FSR FSA	1.75:1 20,545.00m²	1.709:1 20,059.30m²
05. SITE COVERAGE MAXIMUM	5,870.00m² 50% OF SITE	5,176.70m² 44.09% OF SITE
06. LANDSCAPE AREA MINIMUM	3,522.00m² 30% OF SITE	3524.50m² 30.02% OF SITE
07. DEEP SOIL ZONE	1,761.00m² 15% OF SITE	2360.20m² 20.10% OF SITE
08.COMMUNAL OPEN SPACE	2,935.00m² 25% OF SITE	3,259.71m² 27.77% OF SITE
09. NUMBER OF UNITS		239 UNITS 28 1B 178 2B 33 3B
10. ADAPTABLE	10% 23.9	10% 24
VISITABLE- (Universal Housing Guidelines Silver Level) 20% 50 Units including Adaptable Units)	10% 24	20% 48
11. CAR PARKING SPACES		
1 BEDROOM 1 / UNIT	28	
2 BEDROOM 1 / UNIT	178	
3 BEDROOM 1.5 / UNIT	49.5	
VISITOR 1 / 5 UNIT	47.8	
TOTAL	303.3	341 CAR SPACES
ADAPTABLE SPACES	23.9(10%)	24
BICYCLE 1 / 3 UNIT	80	80 SPACES
11. SOLAR ACCESS	70% 2 HRS	73.64% 176 / 239 UNITS
12. CROSS VENTILATION	60%	80.00% 192 / 239 UNITS

DEVELOPMENT YIELD

SITE AREA11,740.00m²

BUILDING	A				
LEVELS	1 BED	2 BEDS	3 BEDS	Units/FLR	Area/FLR
7TH	2	6	0	8	609.60m²
6TH	2	6	0	8	609.60m²
5TH	2	6	0	8	609.60m²
4TH	2	6	0	8	609.60m²
3RD	2	6	0	8	609.60m²
2ND	2	6	0	8	609.60m²
1ST	2	6	0	8	609.60m²
GROUND	0	2	4	6	689.23m²
BASEMENT 1					
BASEMENT 2					
TOTAL	14	44	4	62	4956.43m²

BUILDING	B				
LEVELS	1 BED	2 BEDS	3 BEDS	Units/FLR	Area/FLR
7TH	0	5	2	7	622.34m²
6TH	0	5	2	7	622.34m²
5TH	0	5	2	7	622.34m²
4TH	0	5	2	7	622.34m²
3RD	0	8	0	8	653.45m²
2ND	0	8	0	8	653.45m²
1ST	0	8	0	8	653.45m²
GROUND	0	2	4	6	645.24m²
BASEMENT 1					
BASEMENT 2					
TOTAL	0	46	12	58	5118.11m²

BUILDING	C				
LEVELS	1 BED	2 BEDS	3 BEDS	Units/FLR	Area/FLR
7TH	0	5	2	7	622.34m²
6TH	0	5	2	7	622.34m²
5TH	0	5	2	7	622.34m²
4TH	0	5	2	7	622.34m²
3RD	0	8	0	8	653.45m²
2ND	0	8	0	8	653.45m²
1ST	0	8	0	8	653.45m²
GROUND	0	2	4	6	668.40m²
BASEMENT 1					
BASEMENT 2					
TOTAL	0	46	12	58	5094.95m²

BUILDING	D				
LEVELS	1 BED	2 BEDS	3 BEDS	Units/FLR	Area/FLR
7TH	2	6	0	8	605.60m²
6TH	2	6	0	8	605.60m²
5TH	2	6	0	8	605.60m²
4TH	2	6	0	8	605.60m²
3RD	2	6	0	8	605.60m²
2ND	2	6	0	8	605.60m²
1ST	2	6	0	8	605.60m²
GROUND	0	0	5	5	650.61m²
BASEMENT 1					
BASEMENT 2					
TOTAL	14	42	5	61	4889.81m²

TOTAL	28	178	33	239
	11.71%	74.48%	13.81%	100%

TOTAL GROSS FLOOR AREA20,059.30m²

F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review
ISSUE	DATE	AMENDMENT



PROJECT STATUS:

DEVELOPMENT APPLICATION

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PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

59 CUDGEGONG ROAD, ROUSE HILL,NSW
2155(SITE - 2)

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

SITE SUMMARY

DESIGN:
NS

DRAWN:
AIRP

DATE:
JUNE 2016

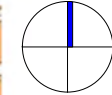
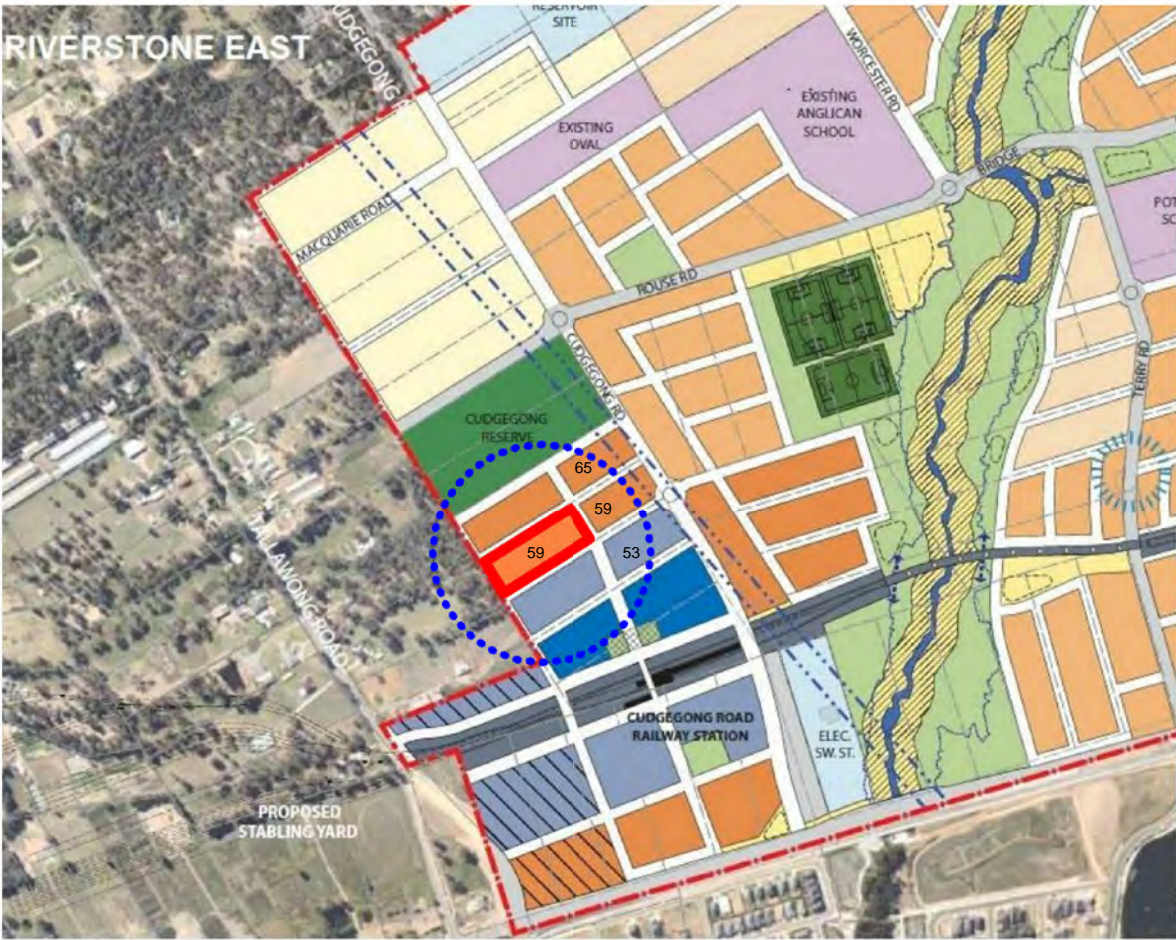
SCALE:
AS SHOWN

ISSUE:

F

SHEET :

DA-A001



AREA 20 PRECINCT PLAN



LOCATION MAP

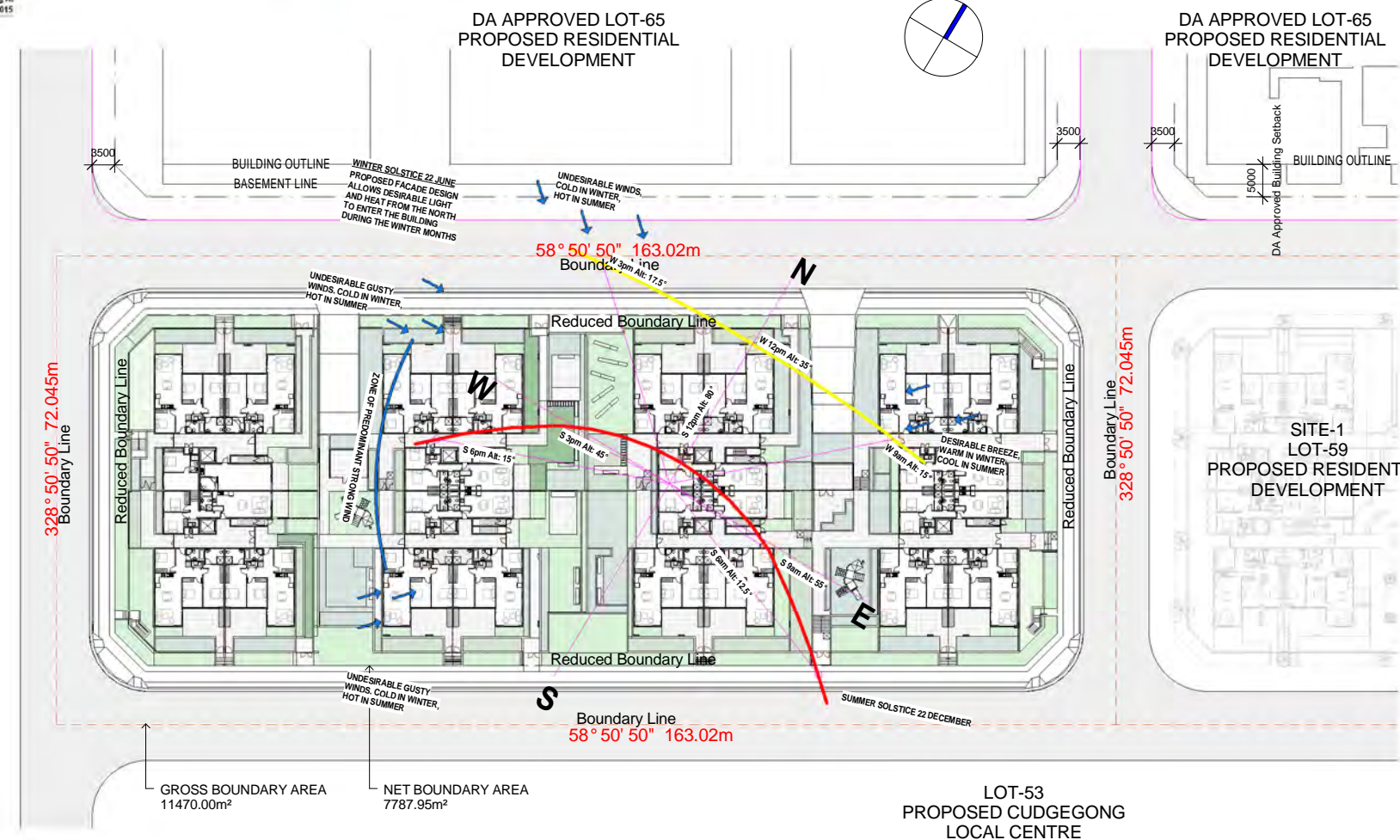


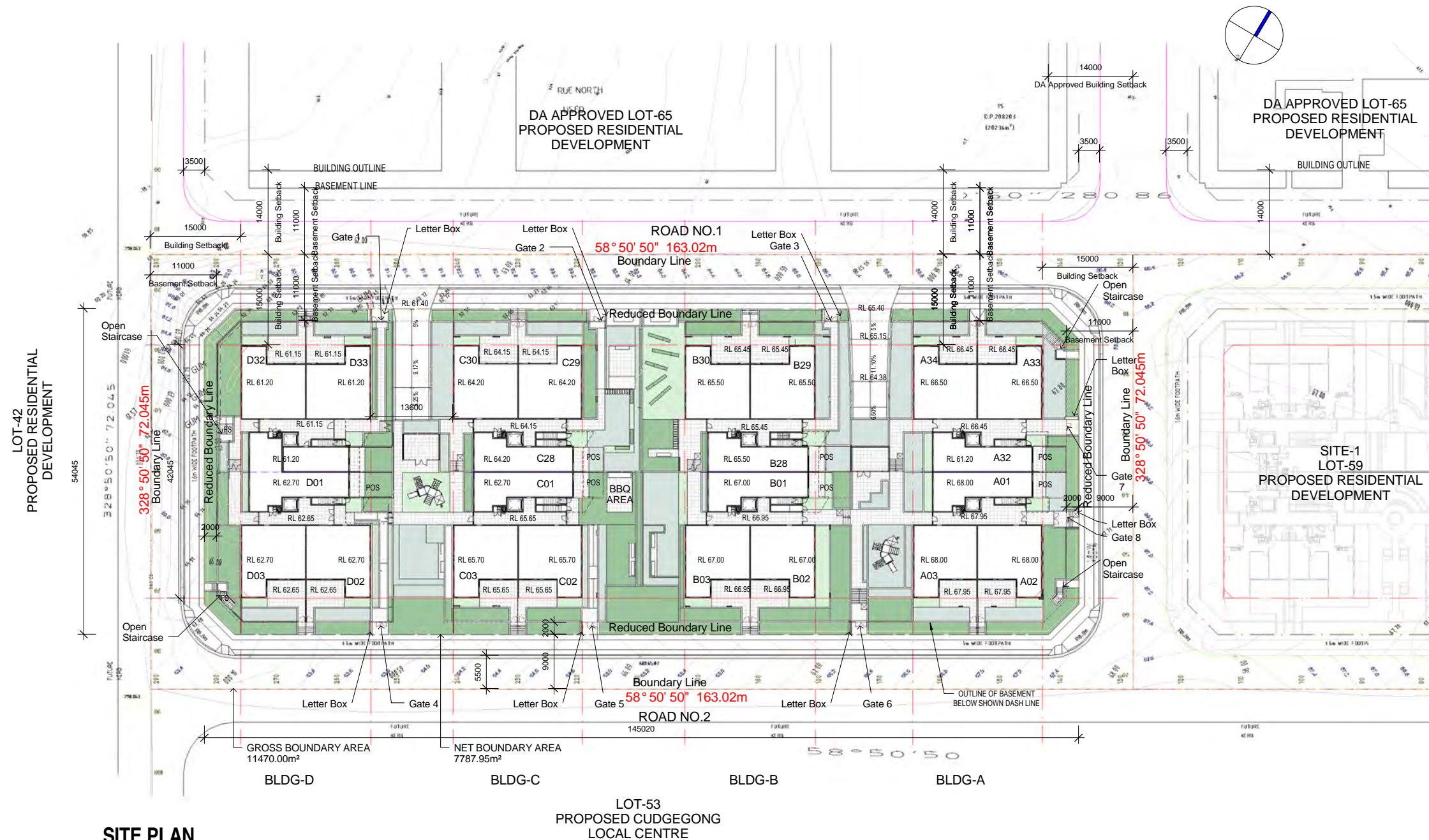
VIEW TO SITE FROM CUDGEGONG ROAD-1



VIEW TO SITE FROM CUDGEGONG ROAD-2

LOT-42
PROPOSED RESIDENTIAL
DEVELOPMENT





SITE PLAN

SCALE 1:400@A1
1:800@A3

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NOTES:
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2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
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RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
**59 CUDGONG ROAD, ROUSE HILL, NSW
2155(SITE - 2)**
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
SITE PLAN/NOTIFICATION
DESIGN:
NS
DRAWN:
AJRSA
DATE:
JUNE 2016
SCALE:
AS SHOWN

ISSUE:
F
SHEET :
DA-A101

DA APPROVED
65 CUDGONG RD
RESIDENTIAL DEVELOPMENT

Building Outline Above

BUILDING OUTLINE

BASEMENT LINE

basement outline

Boundary Line 58° 50' 50" 163.02m

Reduced Boundary Line

Substation Easement

Substation Easement

OSD TANK 2
90.50m²

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101.30m²

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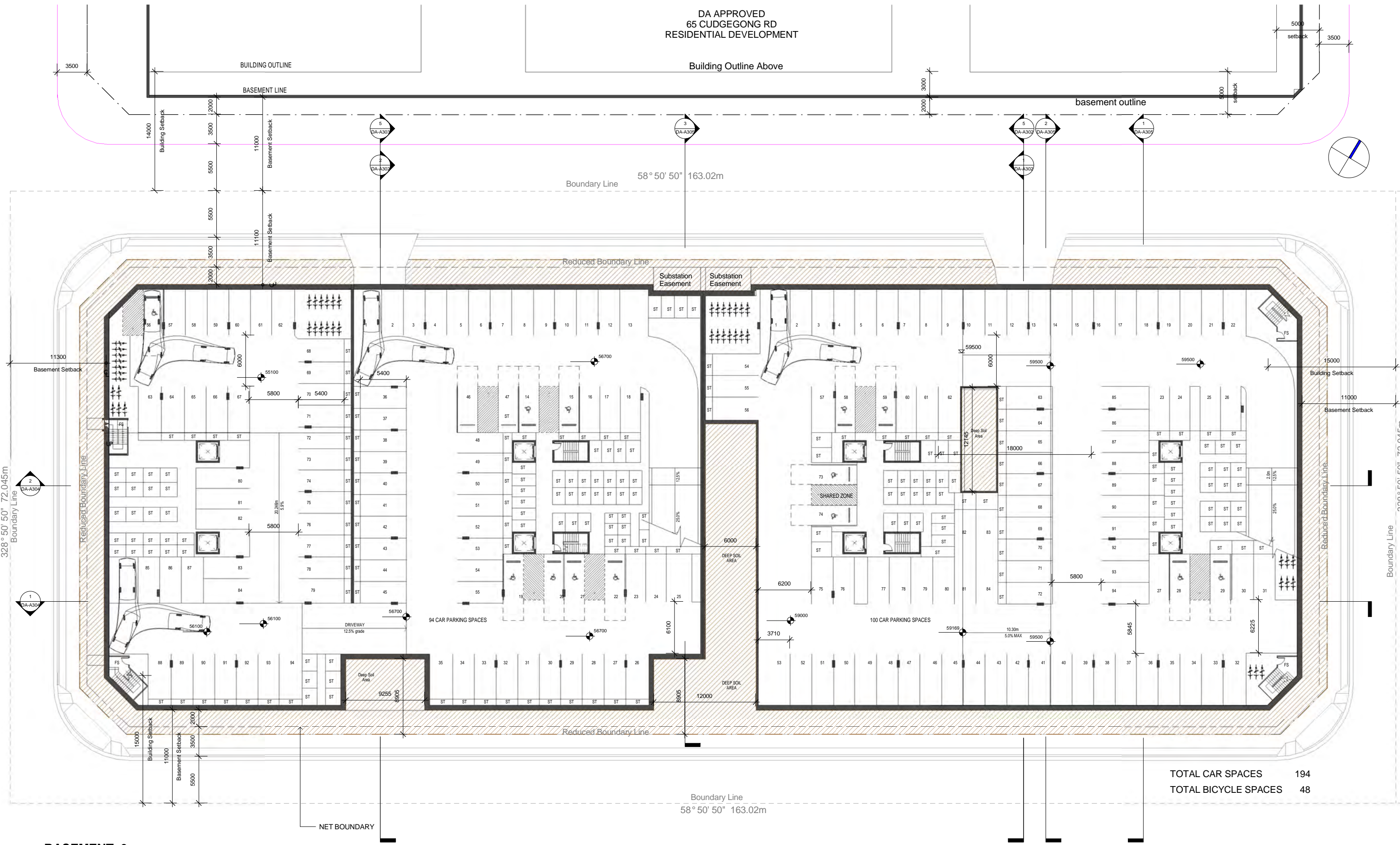
OSD TANK 217
90.50m²

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90.50m²

OSD TANK 220
90.50m²

OSD T



BASEMENT 2
1:200 @ A1

pens
Design Studio
ABN 47 814 248 580
noy santiago architect: 5968

ISSUE	DATE	AMENDMENT
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A	20-01-17	DRAFT ISSUE- for consultants review

CAD Plans
DESIGN Solutions
39 Cumberland Rd Auburn NSW 2144
P: (02) 8068 2177
M: 0416009172
E: info@cadplans.net.au
ABN 88 606 740 381

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DEVELOPMENT APPLICATION

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PROJECT:
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
59 CUDGEGONG ROAD, ROUSE HILL, NSW 2155 (SITE - 2)
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
BASEMENT-2
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN
ISSUE: F
SHEET: DA-A201



GROUND FLOOR PLAN
1: 200 @ A1
1: 400 @ A3

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF INDOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS NATA 1:1992.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED 'ISSUED FOR CONSTRUCTION'.



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DEVELOPMENT APPLICATION

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CLIENT:
The Wickwood Property Group Pty Ltd

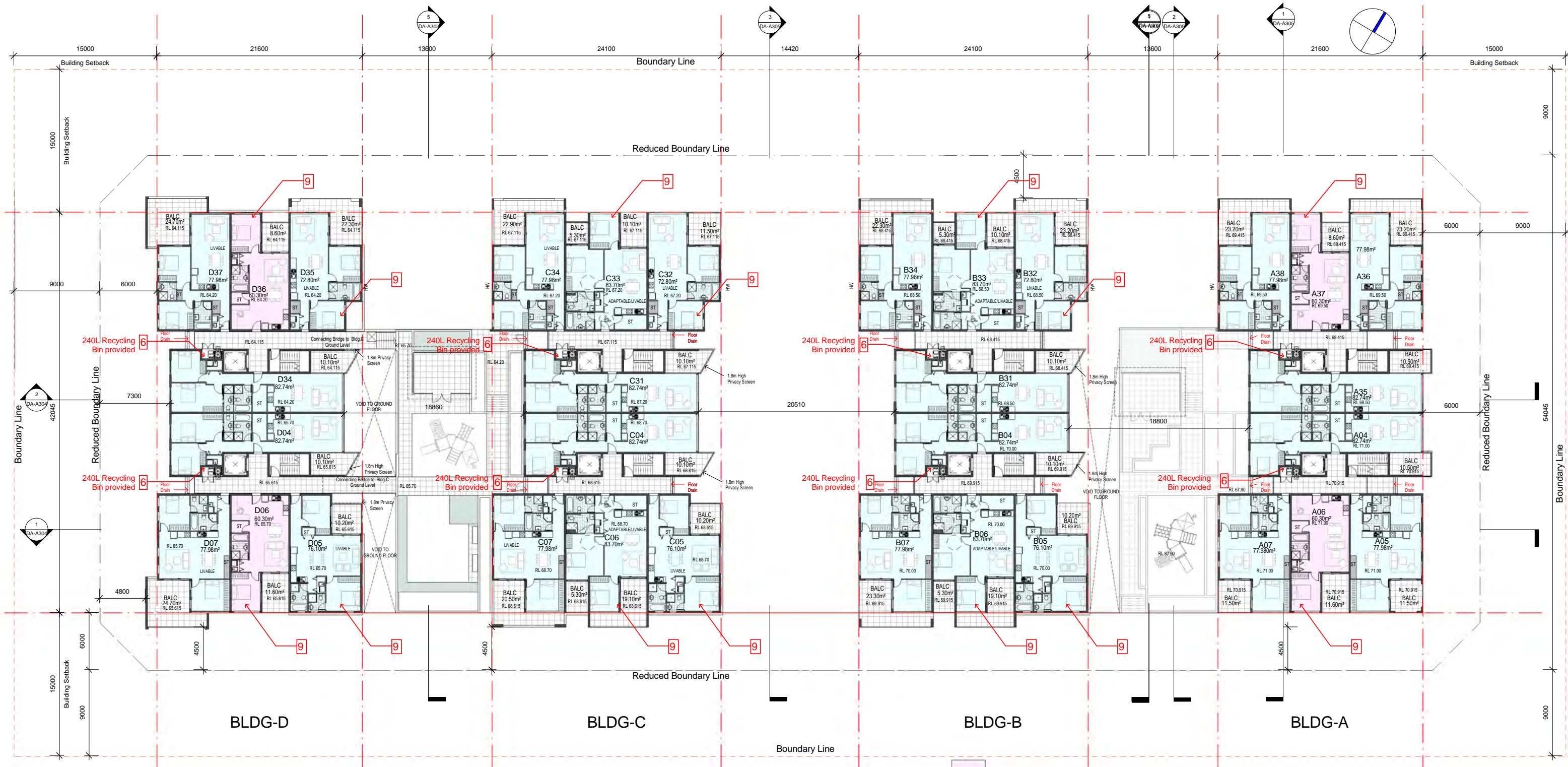
SHEET TITLE:
GROUND FLOOR PLAN

DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN

ISSUE:
F
SHEET:
DA-A202

Note:
List of changes on page DA 203.

Note:
All units to have provisions for clothes dryers included in laundry area.



LEVEL- 1
1 : 200 @ A1
1 : 400 @ A3

LIST OF CHANGES

Notes:

1. Bin travel path with 1.5m wide provided at basement.
- 2.Removable bollards and a no parking line mark noted.
- 3.Truck sweep paths of 11.00m long council truck provided.

4.1.5m wide doorway provided in each bulky waste storage areas and caged enclosure.

5. Driveway ramp gradients adjusted.

6 240L recycling bin provided

7.Access between bulky goods and waste bin room deleted.

- 8.Additional access provided
- 9.Unit layout amended
- 10.Privacy screen provided
- 11.Removed car spaces and increased deep soil area
- 12.Adjusted bin layout
13. Adjusted unit layout
14. Community room 1 added
- 15.Building B and C elevation adjusted

	1 BED UNIT	4 BED UNITS
	2 BED UNIT	28 BED UNITS
	3 BED UNIT	0 BED UNIT

Note:
All units to have provisions for clothes dryers included in laundry area.

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C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

PROJECT STATUS:

DEVELOPMENT APPLICATION

PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

**59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)**

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

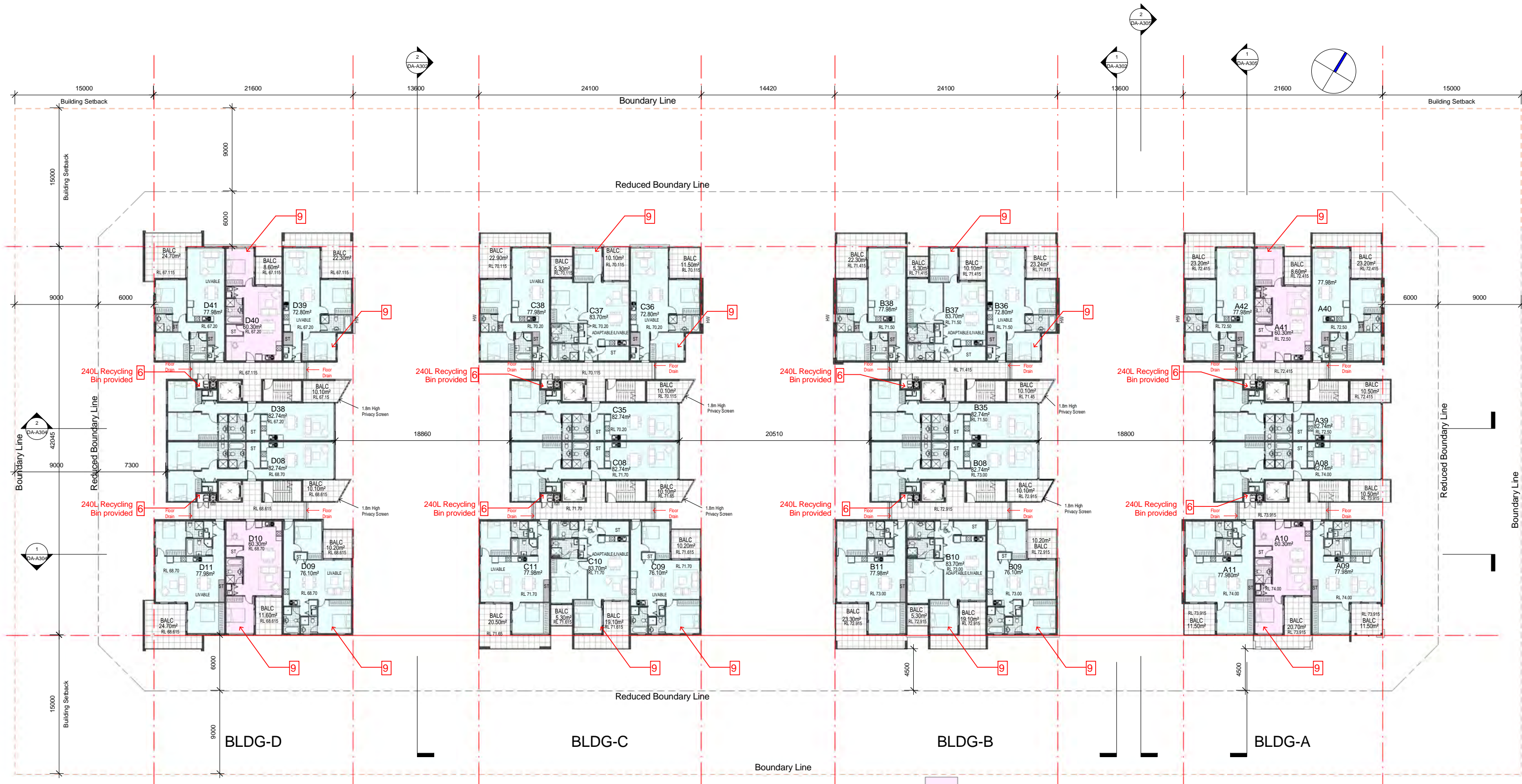
LEVEL-1

ISSUE:

F

SHEET :

DA-A203



LIST OF CHANGES

LEVEL- 2

1: 200 @ A1
1: 400 @ A3

Notes:

- Bin travel path with 1.5m wide provided at basement.
- Removable bollards and a no parking line mark noted.
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4.1.5m wide doorway provided in each bulky waste storage areas and caged enclosure.

5. Driveway ramp gradients adjusted.

6 240L recycling bin provided

7.Access between bulky goods and waste bin room deleted.

- 8.Additional access provided
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- 11.Removed car spaces and increased deep soil area
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13. Adjusted unit layout
14. Community room 1 added
- 15.Building B and C elevation adjusted

Note:

All units to have provisions for clothes dryers included in laundry area.

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PROJECT STATUS:

DEVELOPMENT APPLICATION

PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

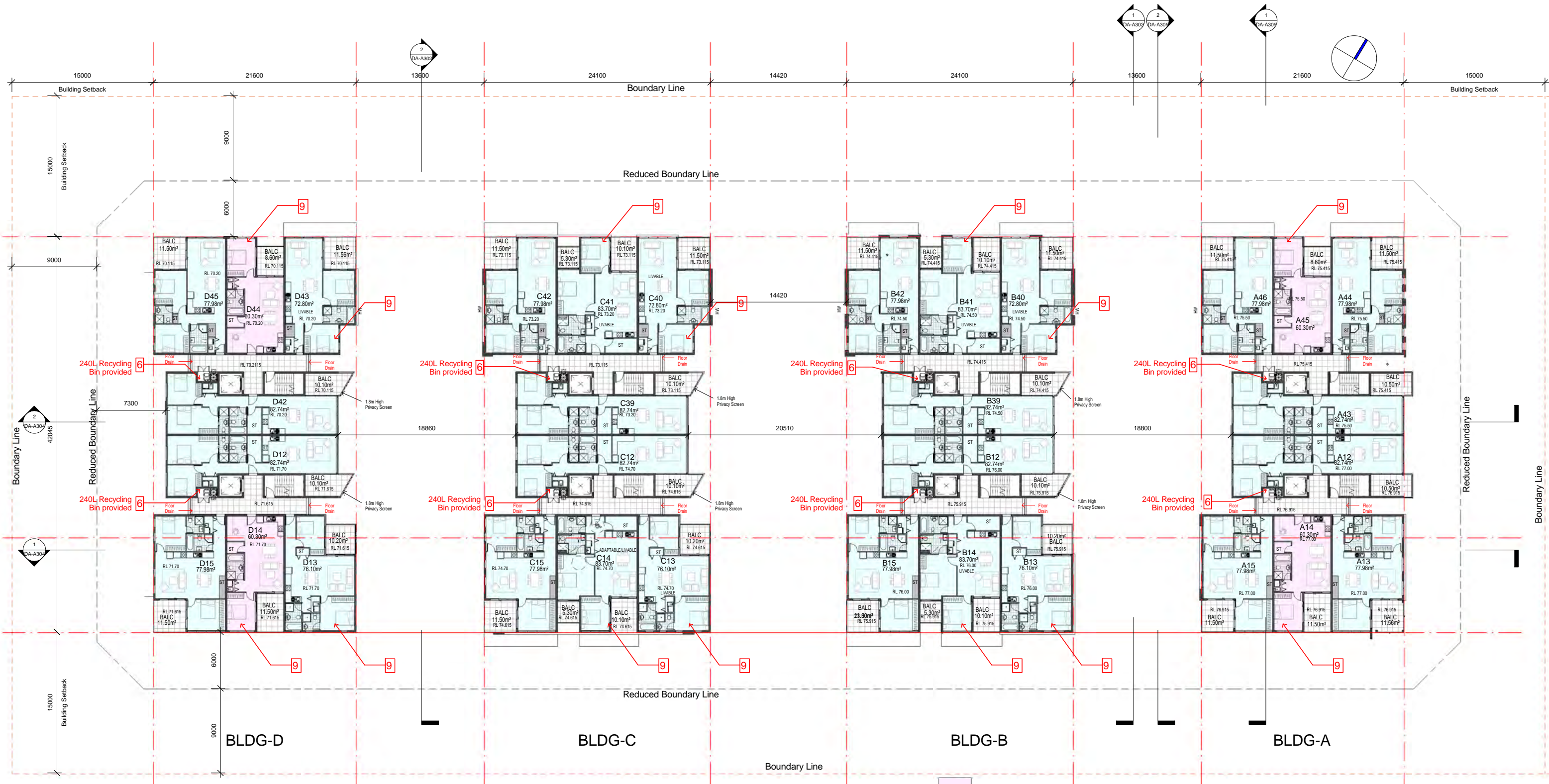
LEVEL-2

ISSUE:

F

SHEET :

DA-A204



LEVEL- 3
1 : 200 @ A1
1 : 400 @ A3

LIST OF CHANGES

Notes:

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2. Removable bollards and a no parking line mark noted.
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4. 1.5m wide doorway provided in each bulky waste storage areas and caged enclosure.

5. Driveway ramp gradients adjusted.

6 240L recycling bin provided

7. Access between bulky goods and waste bin room deleted.

8. Additional access provided
9. Unit layout amended
10. Privacy screen provided
11. Removed car spaces and increased deep soil area
12. Adjusted bin layout
13. Adjusted unit layout
14. Community room 1 added
15. Building B and C elevation adjusted

Note:

All units to have provisions for clothes dryers included in laundry area.

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A	20-01-17	DRAFT ISSUE- for consultants review

PROJECT STATUS:

DEVELOPMENT APPLICATION

PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

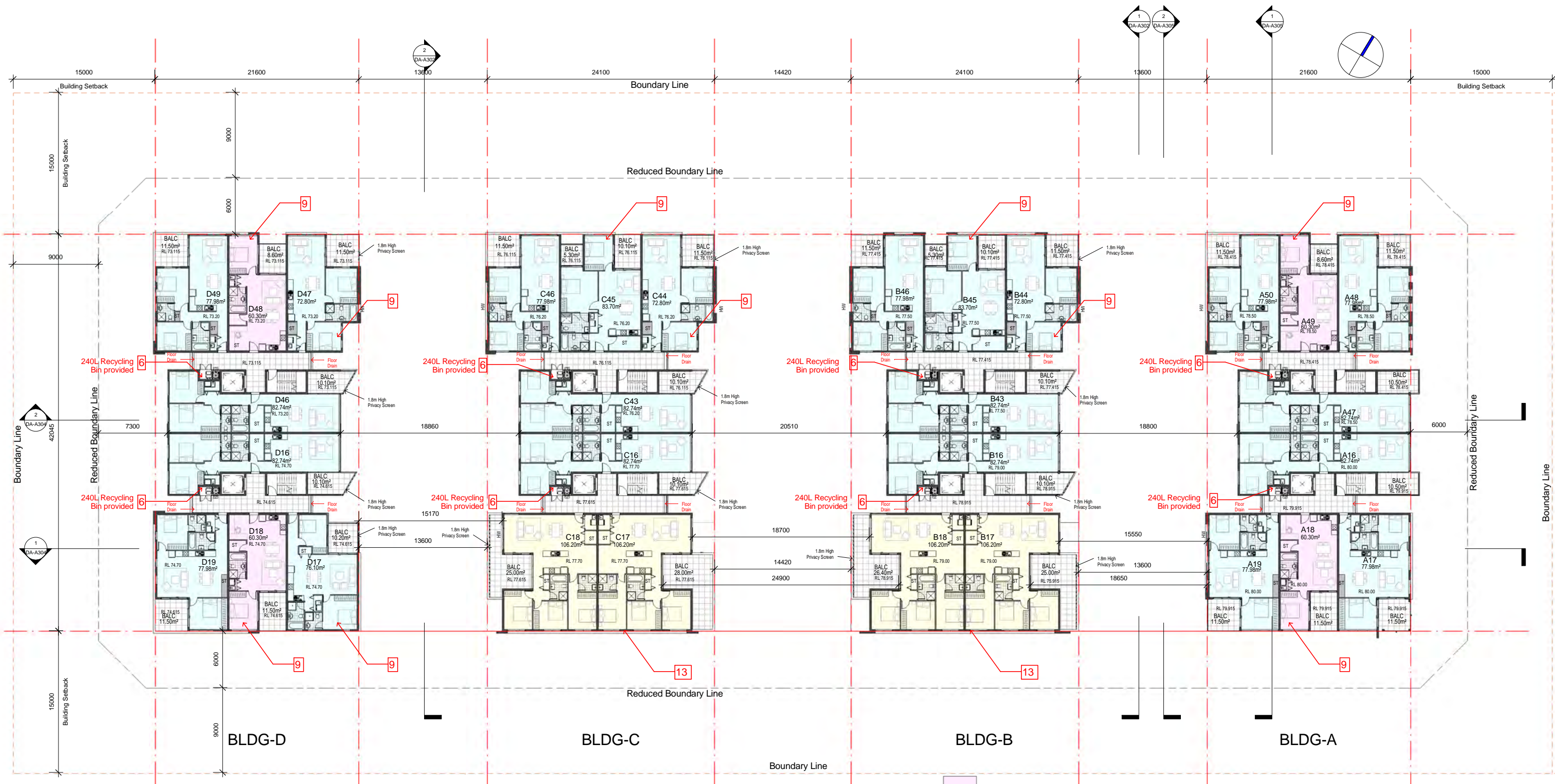
LEVEL-3

ISSUE:

F

SHEET :

DA-A205



LEVEL- 4
1 : 200 @ A1
1 : 400 @ A3

LIST OF CHANGES

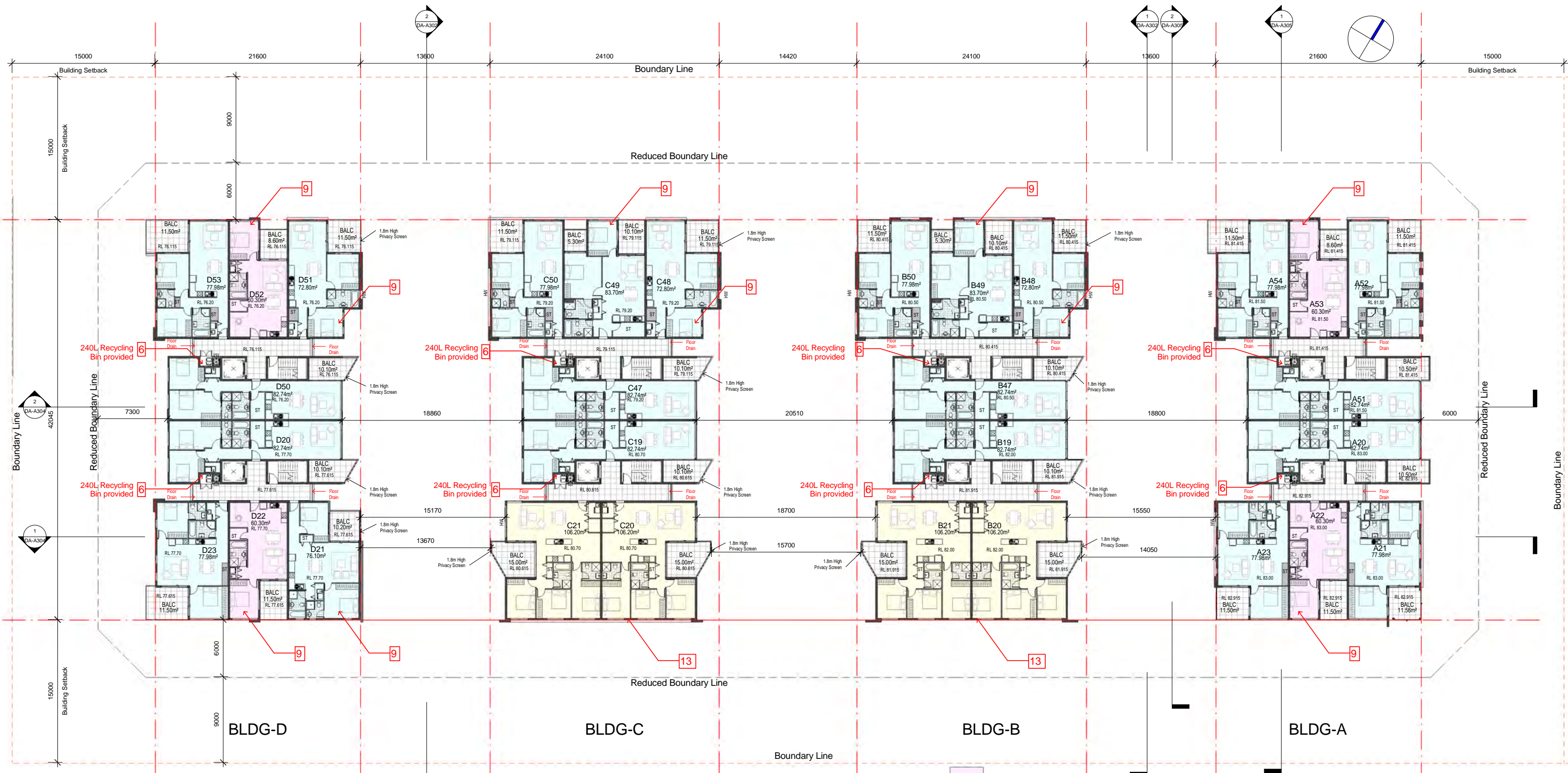
- Notes:
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- 6 240L recycling bin provided
- 7.Access between bulky goods and waste bin room deleted.
- 8.Additional access provided
- 9.Unit layout amended
- 10.Privacy screen provided
- 11.Removed car spaces and increased deep soil area
- 12.Adjusted bin layout
13. Adjusted unit layout
14. Community room 1 added
- 15.Building B and C elevation adjusted

	1 BED UNIT	4 BED UNITS
	2 BED UNIT	22 BED UNITS
	3 BED UNIT	4 BED UNIT

Note:
All units to have provisions for clothes dryers included in laundry area.

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D	15-12-17	Refer to notes as requested by council
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A	20-01-17	DRAFT ISSUE- for consultants review



LIST OF CHANGES

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5. Driveway ramp gradients adjusted.

6 240L recycling bin provided

7. Access between bulky goods and waste bin room deleted.

8. Additional access provided
9. Unit layout amended
10. Privacy screen provided
11. Removed car spaces and increased deep soil area
12. Adjusted bin layout
13. Adjusted unit layout
14. Community room 1 added
15. Building B and C elevation adjusted

Note:

All units to have provisions for clothes dryers included in laundry area.

LEVEL- 5
1: 200 @ A1
1: 400 @ A3

pens
Design Studio
ABN 47 814 248 580
noy santiago architect: 5968

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
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D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

CAD Plans
DESIGN Solutions
39 Cumberland Rd Auburn NSW 2144
P: (02) 8068 2177
M: 0416009172
E: info@cadplans.net.au

PTV LTD
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DEVELOPMENT APPLICATION

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PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

LEVEL-5

DESIGN:
NS

DRAWN:
AJRSA

DATE:
JUNE 2016

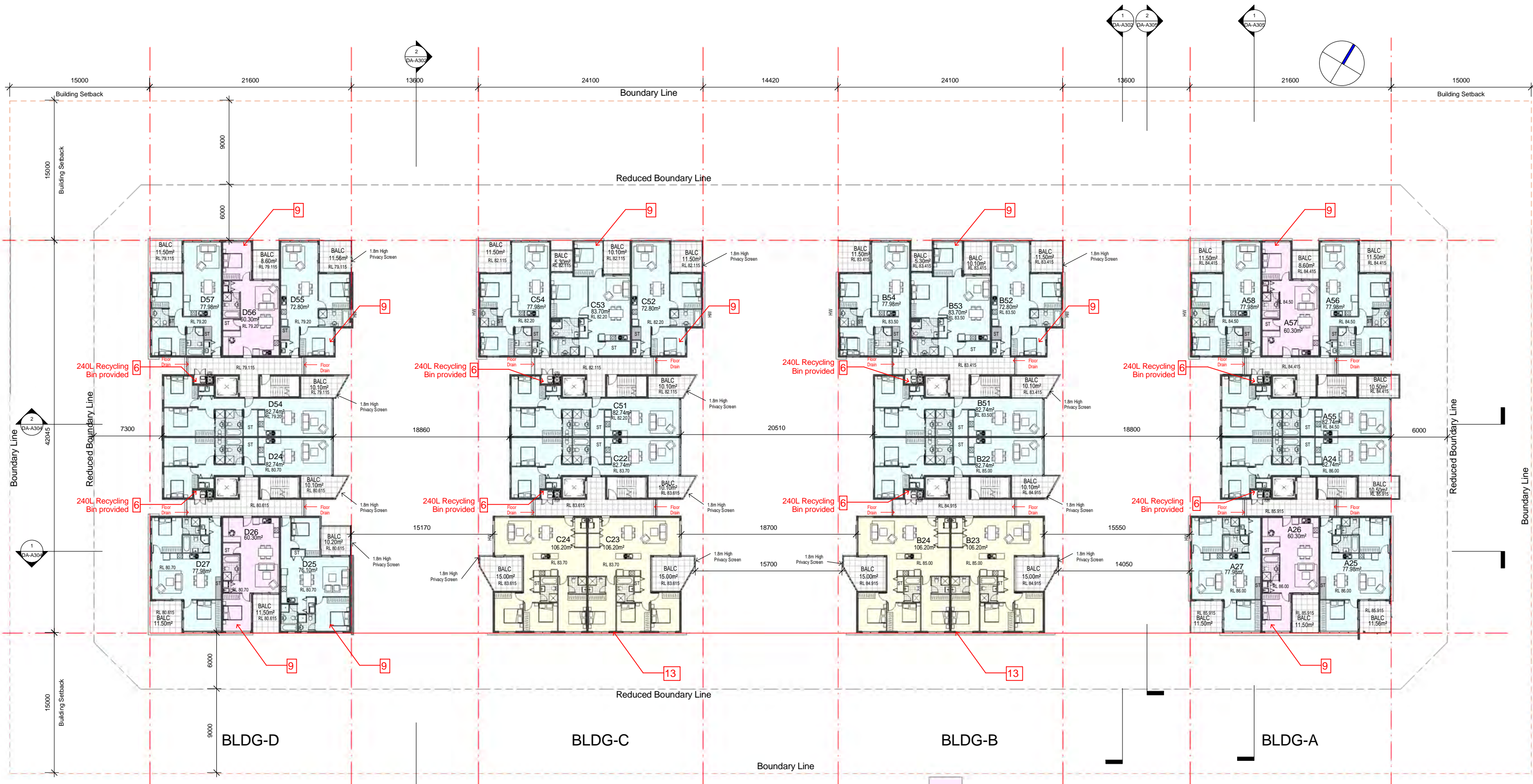
SCALE:
AS SHOWN

ISSUE:

F

SHEET :

DA-A207



LEVEL- 6
1 : 200 @ A1
1 : 400 @ A3

LIST OF CHANGES

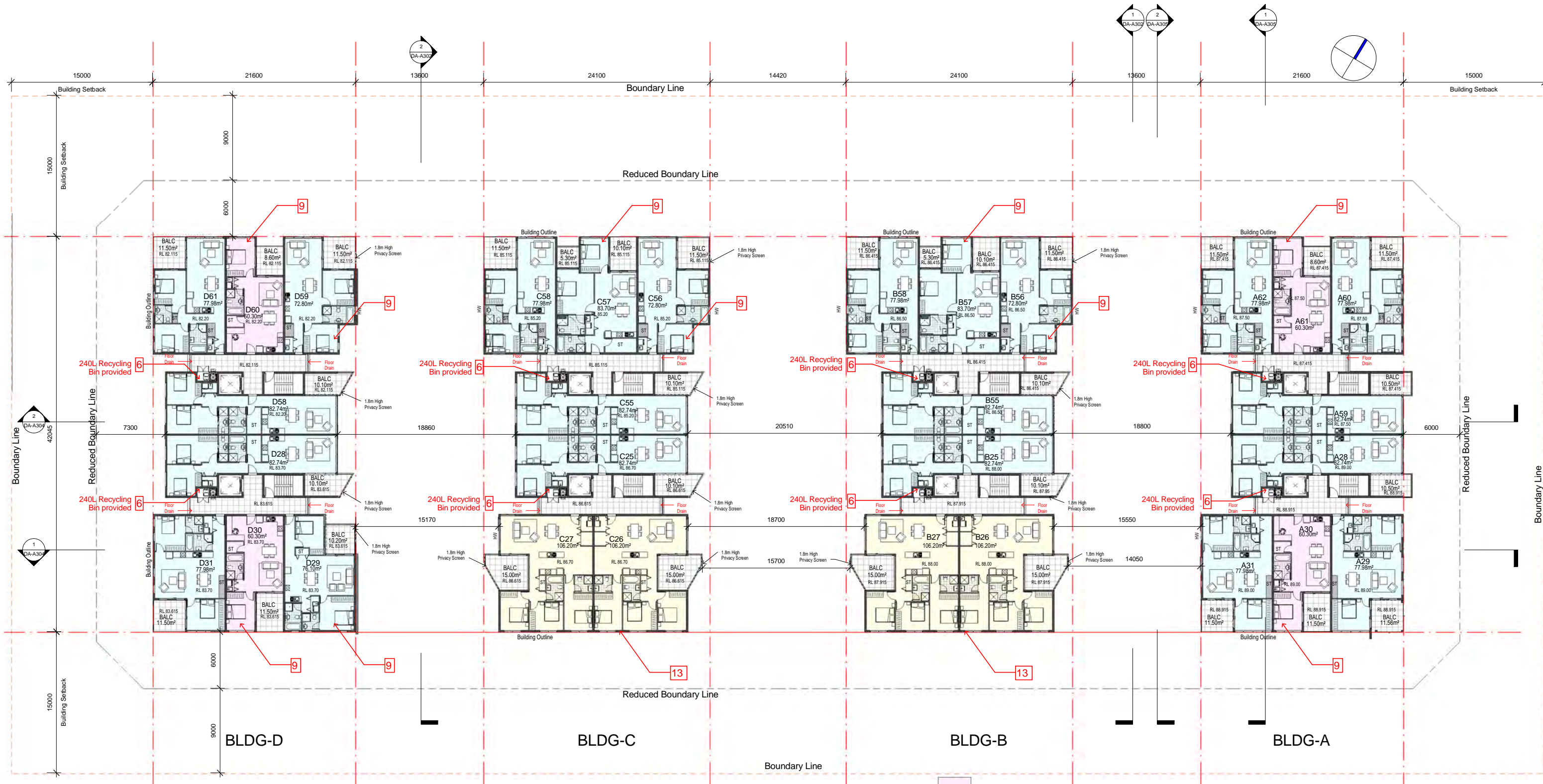
- Notes:
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- 5. Driveway ramp gradients adjusted.
- 6 240L recycling bin provided
- 7.Access between bulky goods and waste bin room deleted.
- 8.Additional access provided
- 9.Unit layout amended
- 10.Privacy screen provided
- 11.Removed car spaces and increased deep soil area
- 12.Adjusted bin layout
- 13. Adjusted unit layout
- 14. Community room 1 added
- 15.Building B and C elevation adjusted

	1 BED UNIT	4 BED UNITS
	2 BED UNIT	22 BED UNITS
	3 BED UNIT	4 BED UNIT

Note:
All units to have provisions for clothes dryers included in laundry area.

ISSUE	DATE	AMENDMENT
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A	20-01-17	DRAFT ISSUE- for consultants review



LIST OF CHANGES

LEVEL- 7
1 : 200 @ A1
1 : 400 @ A3

Notes:

1. Bin travel path with 1.5m wide provided at basement.
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	1 BED UNIT	4 BED UNITS
	2 BED UNIT	22 BED UNITS
	3 BED UNIT	4 BED UNIT

Note:
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PROJECT STATUS:

DEVELOPMENT APPLICATION

PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

LEVEL-7

ISSUE:

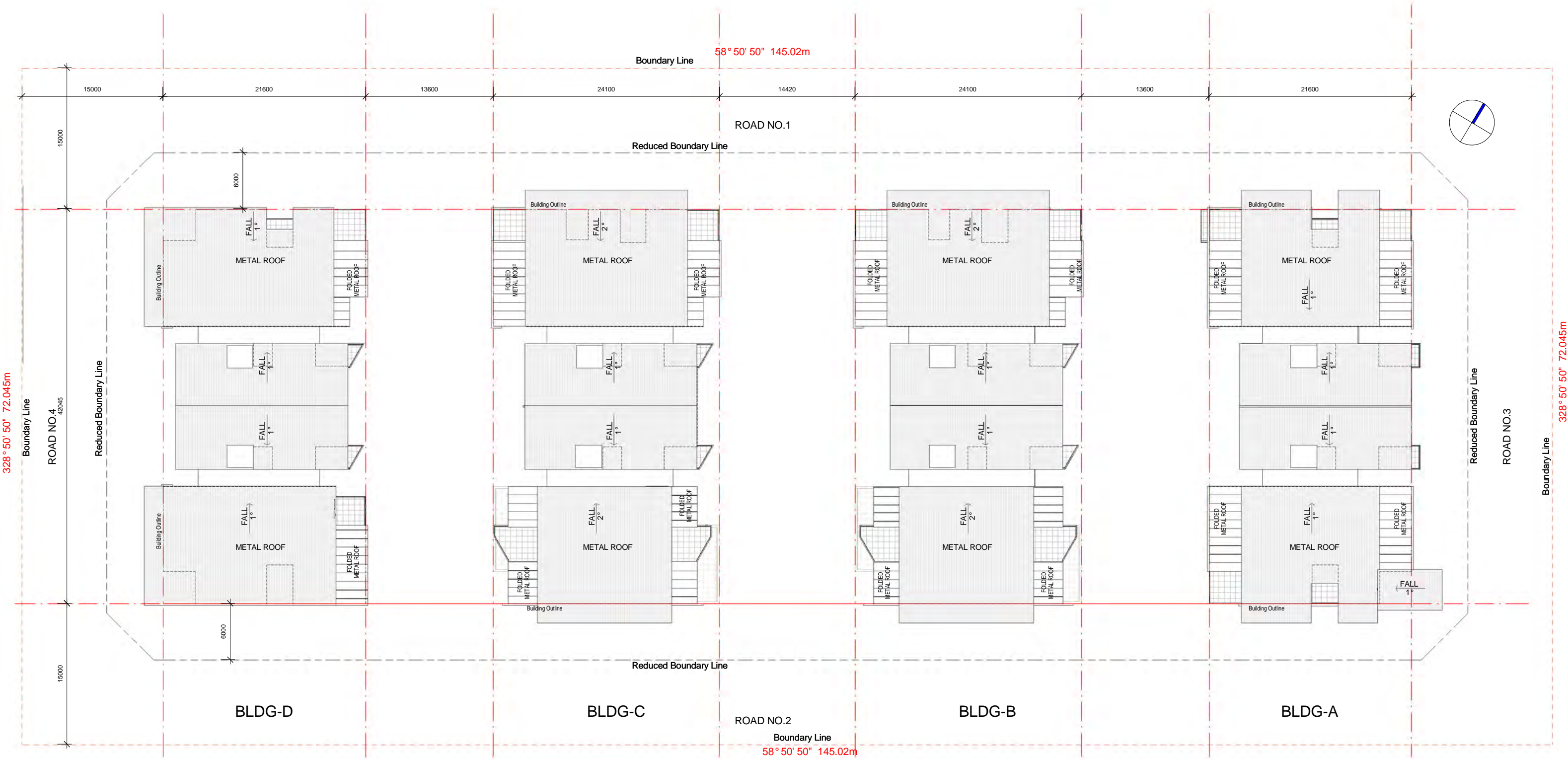
F

SHEET :

DA-A209

328° 50' 50" 72.045m

328° 50' 50" 72.045m



ROOF PLAN
1 : 200 @ A1
1 : 400 @ A3

F	11-10-18	Issue for consultants review
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ISSUE	DATE	AMENDMENT

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59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
ROOF PLAN
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN

ISSUE:
F
SHEET :
DA-A210



EAST ELEVATION
1 : 200 @ A1
1 : 400 @ A3



NORTH ELEVATION
1 : 200 @ A1
1 : 400 @ A3

COLOUR AND FINISH

F01		AUSTRAL BRICKS- MADDOX	F08		FENCE POWDER COATED FINISH COBALT-DULUX
F02		METAL CLADDING IRONSTONE-COLORBOND	F09		SANDSTONE LOOK HONED FINISH MASONRY
F03		RENDERED FINISH ANTIQUE WHITE U.S.A DULUX	F10		PUNCTURED WALL ELEMENTS RENDERED FINISH OLD EAGLE-DULUX
F04		TIMBER PATTERN ALUMINIUM CLADDING	F11		LONG LINE PROFILE FOLDED METAL ROOFING IRONSTONE-COLORBOND
F05		GLASS BALUSTRADE	F12		GUTTER AND METAL FLASHING IRONSTONE-COLORBOND
F06		RENDERED FINISH BASALT -DULUX	F13		MAIN ROOF-TRIMDEK PROFILE COBALT-COLORBOND
F07		RENDERED FINISH IRONSTONE -DULUX			

ISSUE	DATE	AMENDMENT
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CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE: ELEVATIONS		ISSUE: F	
DESIGN: NS	DRAWN: AJRSA	DATE: JUNE 2016	SCALE: AS SHOWN
SHEET : DA-A300			



WEST ELEVATION

SCALE 1:200 @ A1
1:400 @ A3

COLOUR AND FINISH

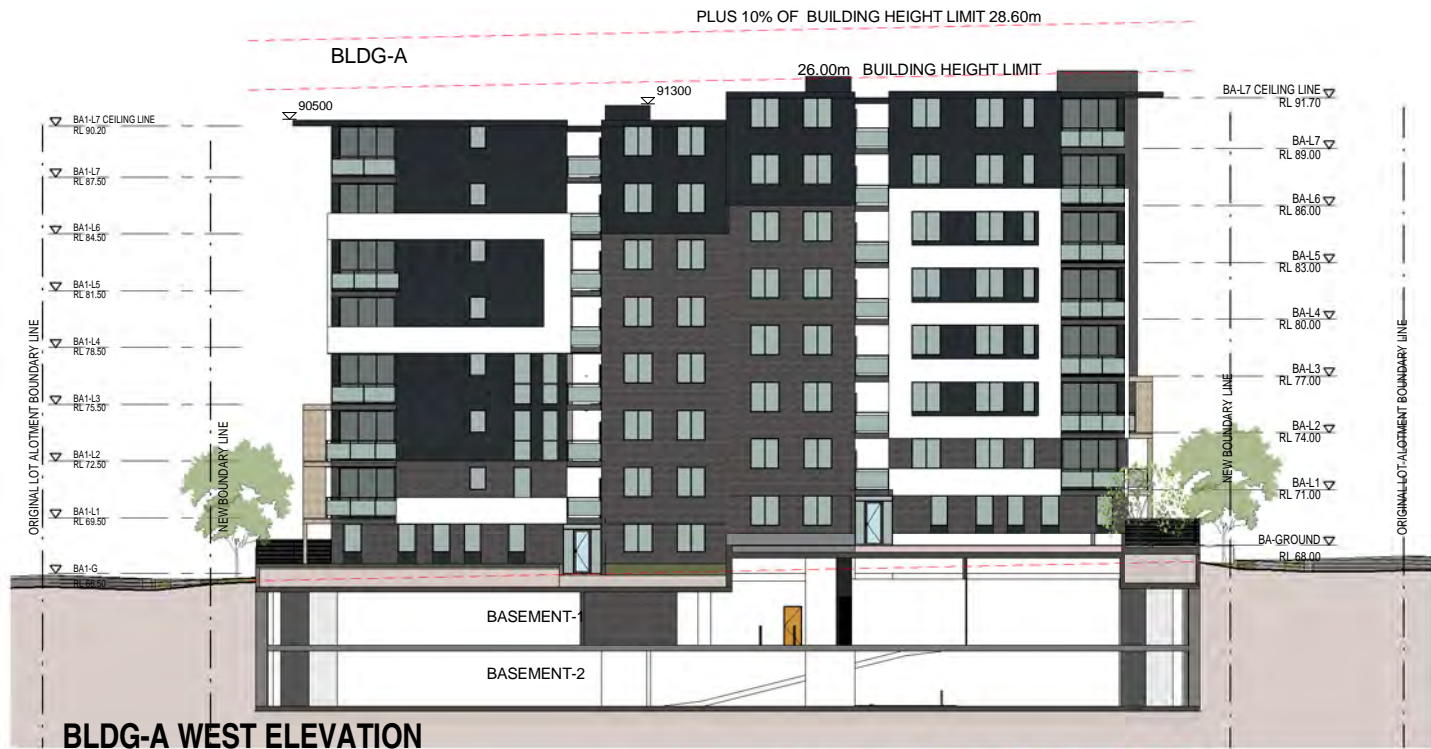
F01		AUSTRAL BRICKS- MADDOX	F08		FENCE POWDER COATED FINISH COBALT-DULUX
F02		METAL CLADDING IRONSTONE-COLORBOND	F09		SANDSTONE LOOK HONED FINISH MASONRY
F03		RENDERED FINISH ANTIQUE WHITE U.S.A DULUX	F10		PUNCTURED WALL ELEMENTS RENDERED FINISH OLD EAGLE-DULUX
F04		TIMBER PATTERN ALUMINIUM CLADDING	F11		LONG LINE PROFILE FOLDED METAL ROOFING IRONSTONE-COLORBOND
F05		GLASS BALUSTRADE	F12		GUTTER AND METAL FLASHING IRONSTONE-COLORBOND
F06		RENDERED FINISH BASALT-DULUX	F13		MAIN ROOF-TRIMDEK PROFILE COBALT-COLORBOND
F07		RENDERED FINISH IRONSTONE -DULUX			



SOUTH ELEVATION

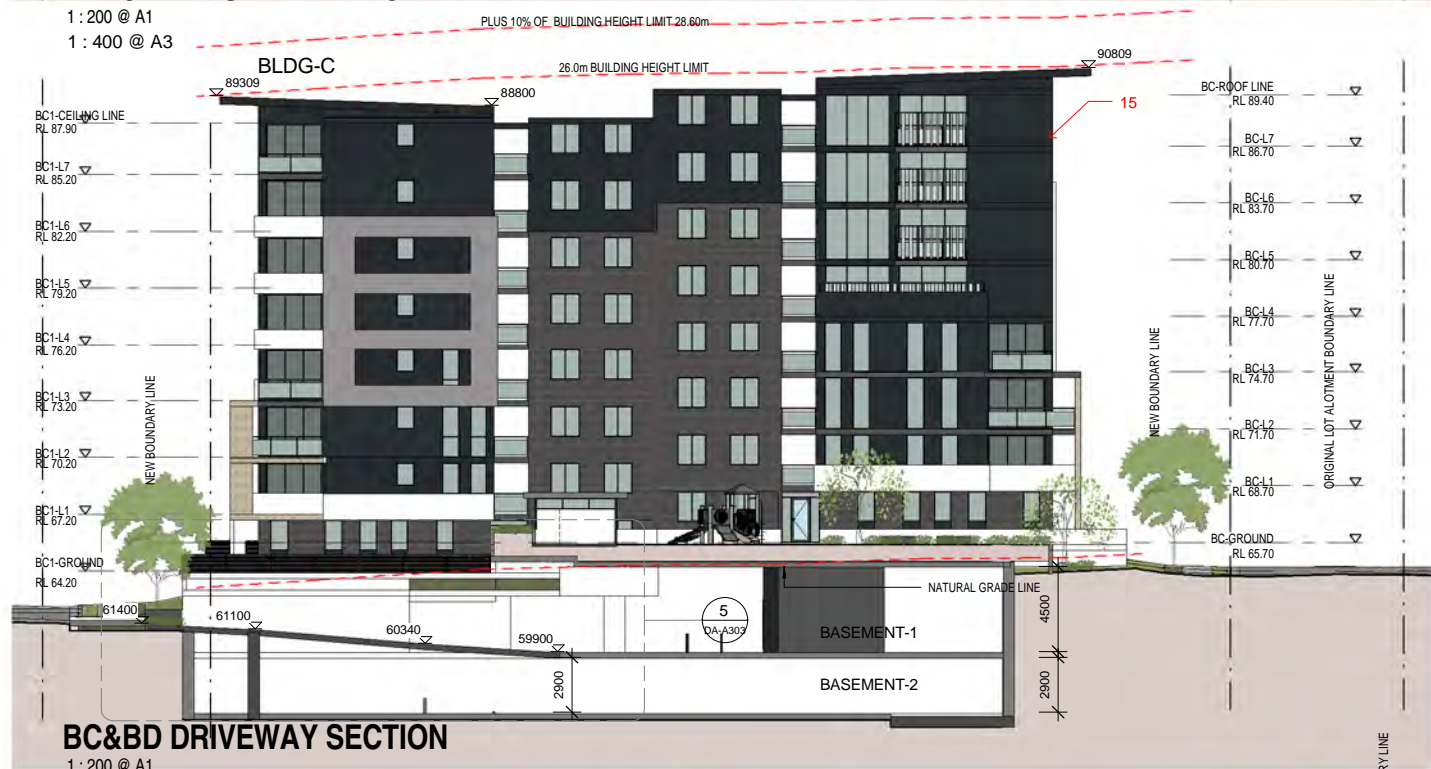
SCALE 1:200 @ A1
1:400 @ A3

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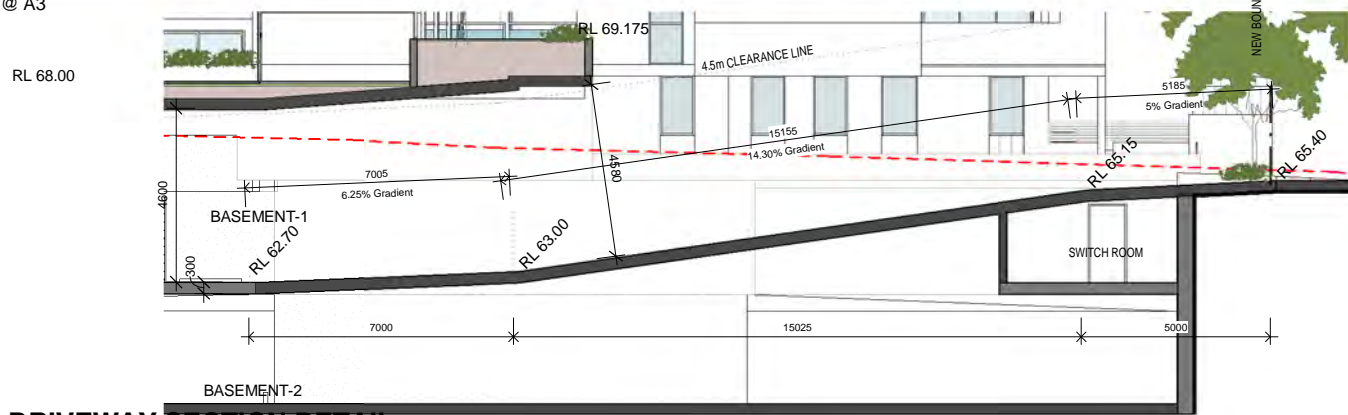
BLDG-A WEST ELEVATION

1 : 200 @ A1
1 : 400 @ A3



BC&BD DRIVEWAY SECTION

1 : 200 @ A1
1 : 400 @ A3



BA&BB DRIVEWAY SECTION DETAIL

1 : 100 @ A1
1 : 200 @ A3

pens
Design Studio
ABN 47 814 248 580
noy.santiago.architect@pens.com.au

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CAD Plans
DESIGN Solutions
39 Cumberland Rd Auburn NSW 2144
P: (02) 8068 2177
M: 0416009172
E: info@cadplans.net.au

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COLOUR AND FINISH

F01		AUSTRAL BRICKS- MADDOX	F08		FENCE POWDER COATED FINISH COBALT-DULUX
F02		METAL CLADDING IRONSTONE-COLORBOND	F09		SANDSTONE LOOK HONED FINISH MASONRY
F03		RENDERED FINISH ANTIQUE WHITE U.S.A DULUX	F10		PUNCTURED WALL ELEMENTS RENDERED FINISH OLD EAGLE-DULUX
F04		TIMBER PATTERN ALUMINIUM CLADDING	F11		LONG LINE PROFILE
F05		GLASS BALUSTRADE	F12		GUTTER AND METAL FLASHING IRONSTONE-COLORBOND
F06		RENDERED FINISH BASALT-DULUX	F13		MAIN ROOF-TRIMDEK PROFILE COBALT-COLORBOND
F07		RENDERED FINISH IRONSTONE-DULUX			



BA&BB DRIVEWAY SECTION

1 : 200 @ A1
1 : 400 @ A3

PROJECT STATUS:

DEVELOPMENT APPLICATION

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PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

SECTIONAL ELEVATIONS

DESIGN:

NS

DRAWN:

AJRSA

DATE:

JUNE 2016

SCALE:

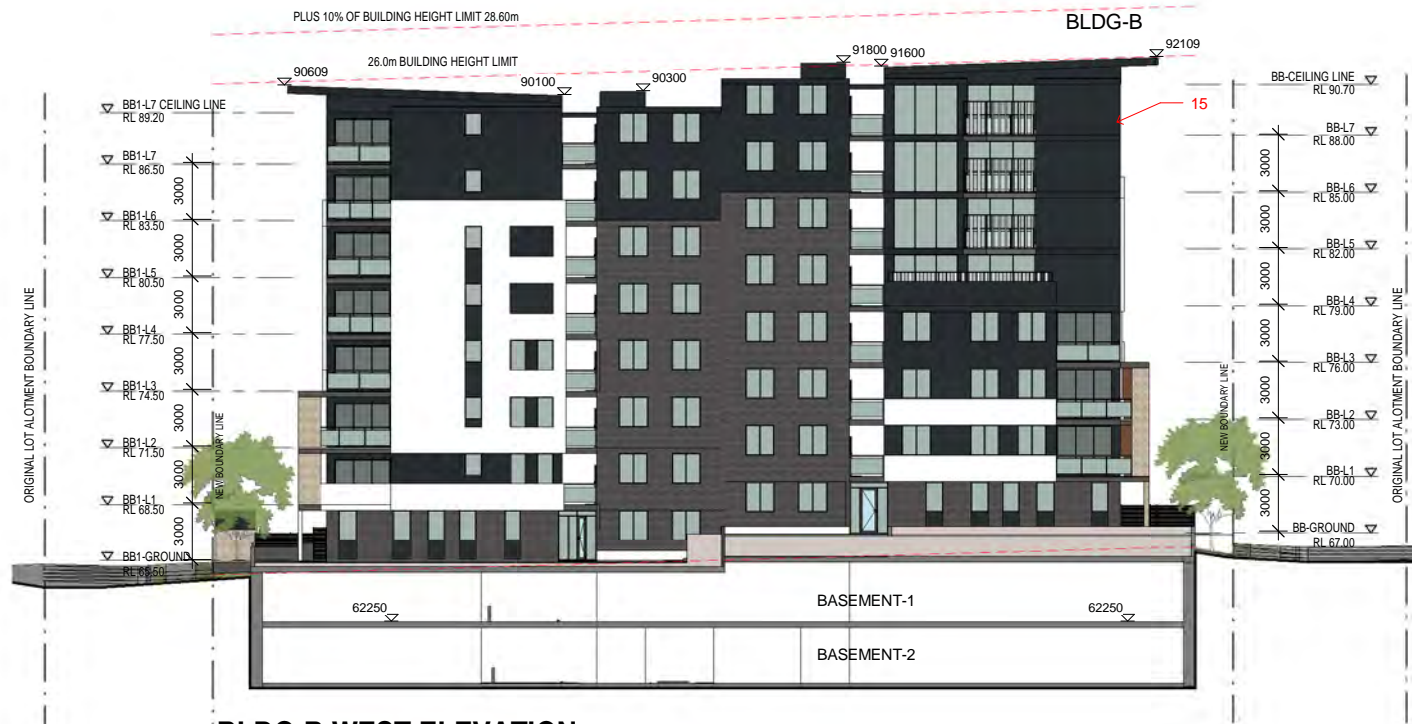
AS SHOWN

ISSUE:

F

SHEET :

DA-A302



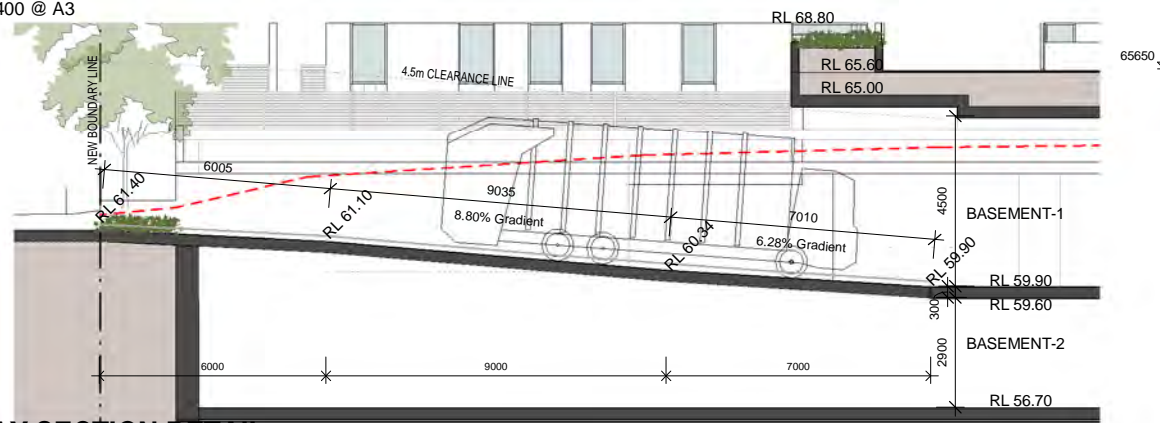
BLDG-B WEST ELEVATION

1 : 200 @ A1
1 : 400 @ A3



BLDG-D EAST ELEVATION

1 : 200 @ A1
1 : 400 @ A3



BC&BD DRIVEWAY SECTION DETAIL

1 : 100 @ A1
1 : 200 @ A3

pens
Design Studio
ABN 47 814 248 580
noy santiago architect: 5968

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

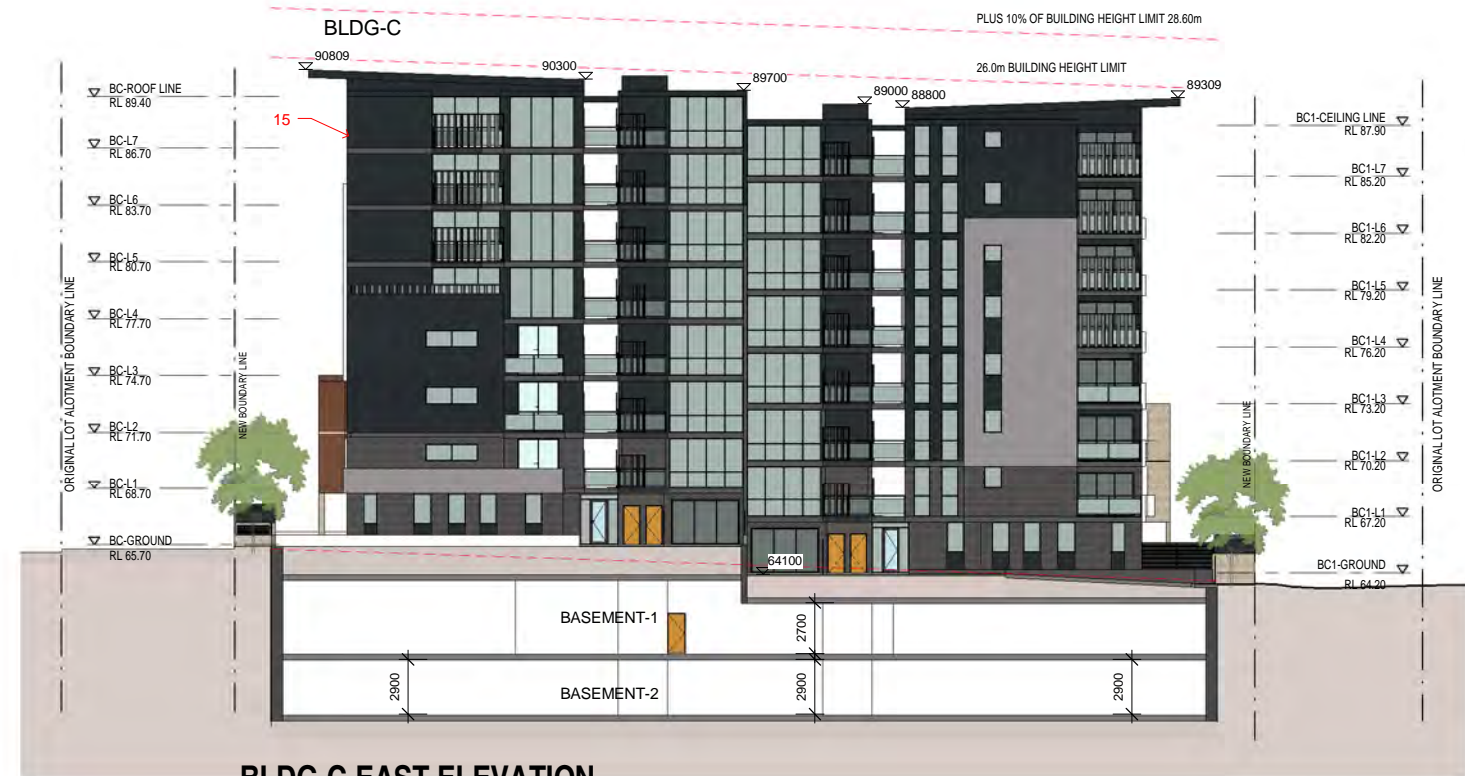
CAD Plans
DESIGN Solutions
39 Cumberland Rd Auburn NSW 2144
P: (02) 8068 2177
M: 0416009172
E: info@cadplans.net.au

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
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7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.



COLOUR AND FINISH

F01		AUSTRAL BRICKS- MADDOX	F08		FENCE POWDER COATED FINISH COBALT-DULUX
F02		METAL CLADDING IRONSTONE-COLORBOND	F09		SANDSTONE LOOK HONED FINISH MASONRY
F03		RENDERED FINISH ANTIQUE WHITE U.S.A DULUX	F10		PUNCTURED WALL ELEMENTS RENDERED FINISH OLD EAGLE-DULUX
F04		TIMBER PATTERN ALUMINIUM CLADDING	F11		LONG LINE PROFILE FOLDED METAL ROOFING IRONSTONE-COLORBOND
F05		GLASS BALUSTRADE	F12		GUTTER AND METAL FLASHING IRONSTONE-COLORBOND
F06		RENDERED FINISH BASALT -DULUX	F13		MAIN ROOF-TRIMDEK PROFILE COBALT-COLORBOND
F07		RENDERED FINISH IRONSTONE -DULUX			



BLDG-C-EAST ELEVATION

1 : 200 @ A1
1 : 400 @ A3

PROJECT STATUS:
DEVELOPMENT APPLICATION

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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
SECTIONAL ELEVATIONS
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN
ISSUE: F
SHEET : DA-A303



LONG SECTION 1
1 : 200 @ A1
1 : 400 @ A3



LONG SECTION 2
1 : 200 @ A1
1 : 400 @ A3

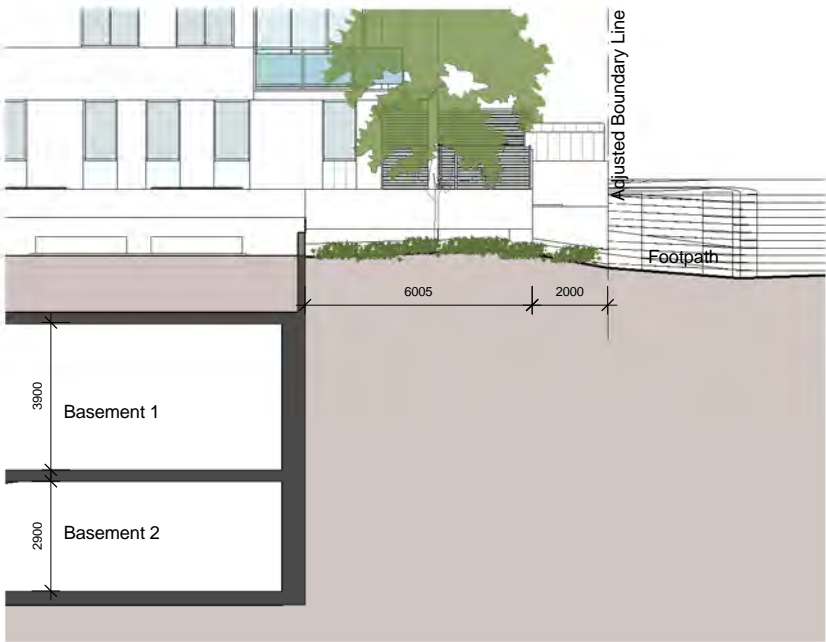
ISSUE	DATE	AMENDMENT
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A	20-01-17	DRAFT ISSUE- for consultants review



SECTION-Ground Privacy



SECTION-Ground Privacy-2



SECTION-Ground Privacy-3

ISSUE	DATE	AMENDMENT
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5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE IS 1604 - 1992.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
59 CUDGONG ROAD, ROUSE HILL, NSW 2155(SITE - 2)
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
SECTIONS
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN

ISSUE:
F
SHEET :
DA-A305



BUILDING HEIGHT LIMIT STUDY

F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review
ISSUE	DATE	AMENDMENT

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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
59 CUDGONG ROAD, ROUSE HILL, NSW 2155
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
26.0M BUILDING HEIGHT PLANE
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN

ISSUE:
F
SHEET :
DA-A306



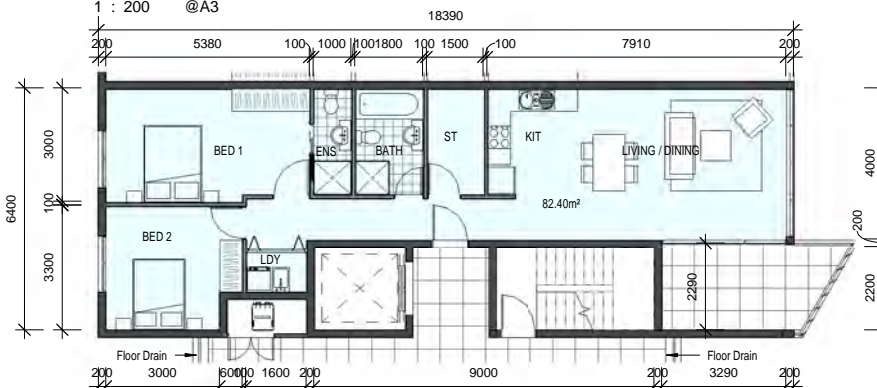
TYPICAL 2-2-2 LAYOUT

1: 100 @A1
1: 200 @A3



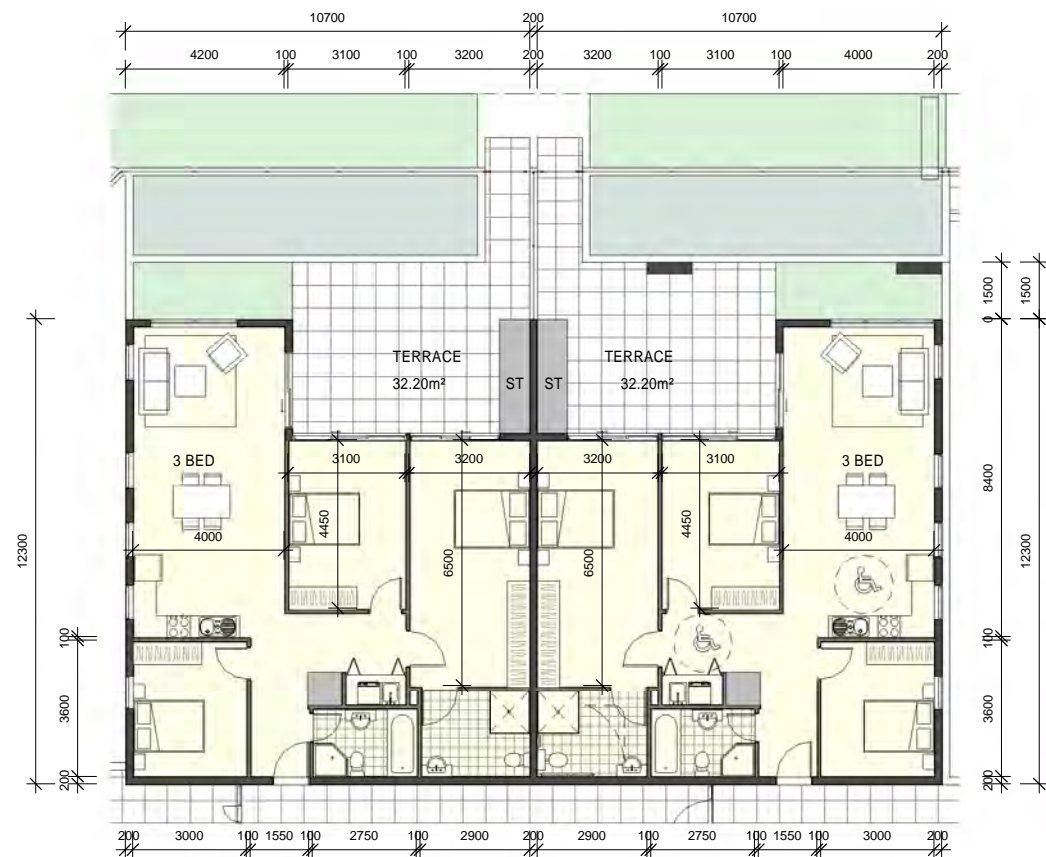
TYPICAL 2-1-2 FLOOR LAYOUT.

1: 100 @A1
1: 200 @A3



TYPICAL 2BED LAYOUT

1: 100 @A1
1: 200 @A3

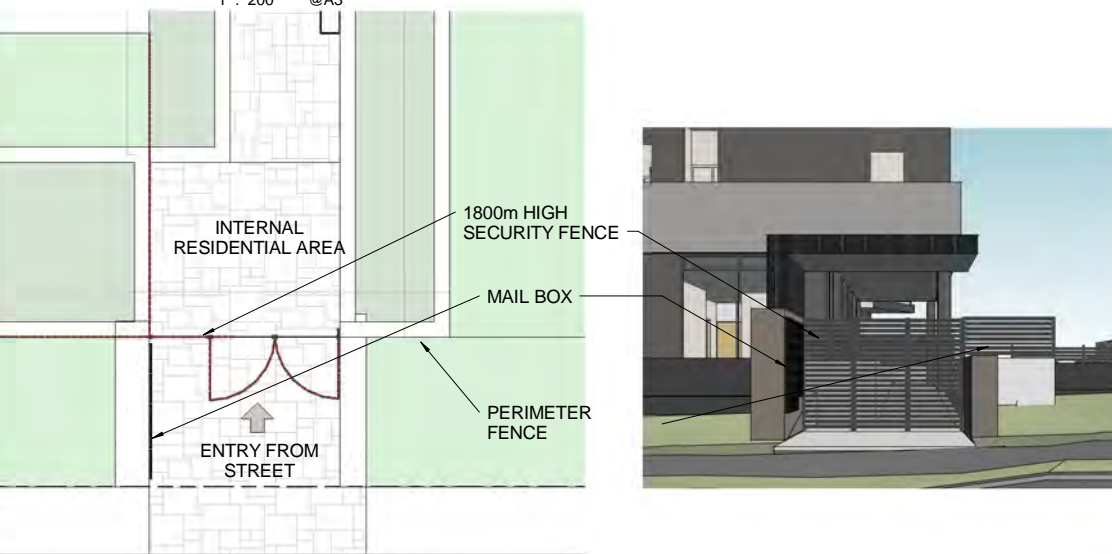


PRE ADAPATABLE LAYOUT

POST ADAPATABLE LAYOUT

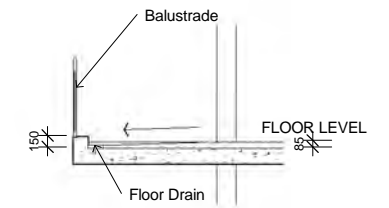
TYPICAL 3-BD UNIT LAYOUT.

1: 100 @A1
1: 200 @A3



TYPICAL MAIL BOX AND ENTRY PLAN

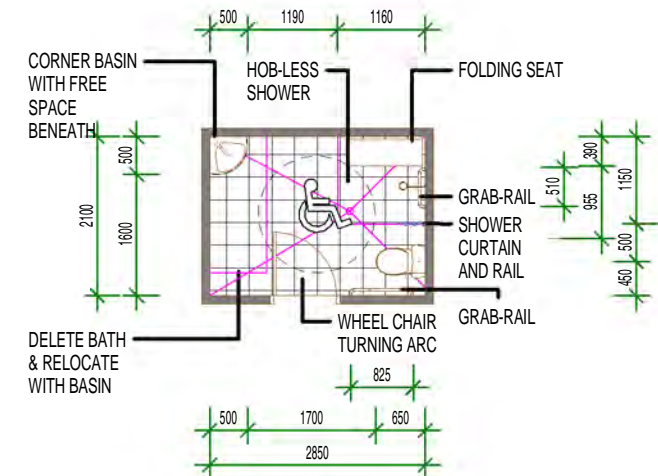
TYPICAL MAIL BOX AND ENTRY STRUCTURES



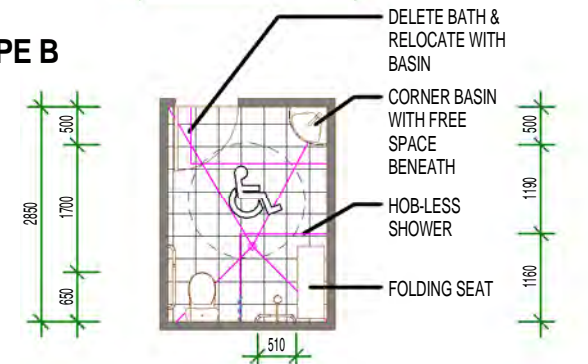
Typical Section along Open Walkway

SCALE 1: 50 @ A1
1: 100 @ A3

TYPE A



TYPE B



BATHROOM POST ADAPTABLE LAYOUT

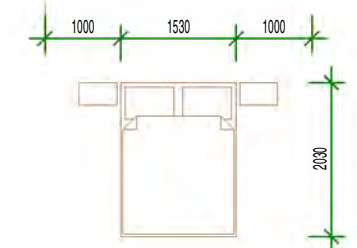
1: 50 @ A1
1: 100 @ A3

NOTE:

ALL FITTINGS AND INSTALLATION TO COMPLY AS 1428.1
(INCLUDING ALL FITTINGS NOT SHOWN (E.G. TOILET ROLL HOLDER))

FLOOR GRADE TO 1.80 FOR AUTO DRAINAGE - CLAUSE 10.1
DIMENSIONS SHOWN TO FINISHED SURFACE

IN OVERSIZED BATHROOMS WHERE TURNING TEMPLATE CAN BE
ACHIEVED AND COMPLIANCE MAINTAINED, BATHS NEED NOT BE
DELETED - ONLY BASINS SUBSTITUTED.



STANDARD AUSTRALIAN QUEEN SIZE BED - 1 530 x 2 020
MINIMUM SIDE CLEARANCE - 1.0m

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DEVELOPMENT APPLICATION

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PROJECT:

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

**59 CUDGONG ROAD, ROUSE HILL, NSW
2155 (SITE - 2)**

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

TYPICAL FLOOR PLANS

DESIGN:
NS

DRAWN:
AJRSA

DATE:
JUNE 2016

SCALE:
AS SHOWN

ISSUE:

F

SHEET:

DA-A400



PERSPECTIVE-VIEW FROM ROAD NO.1



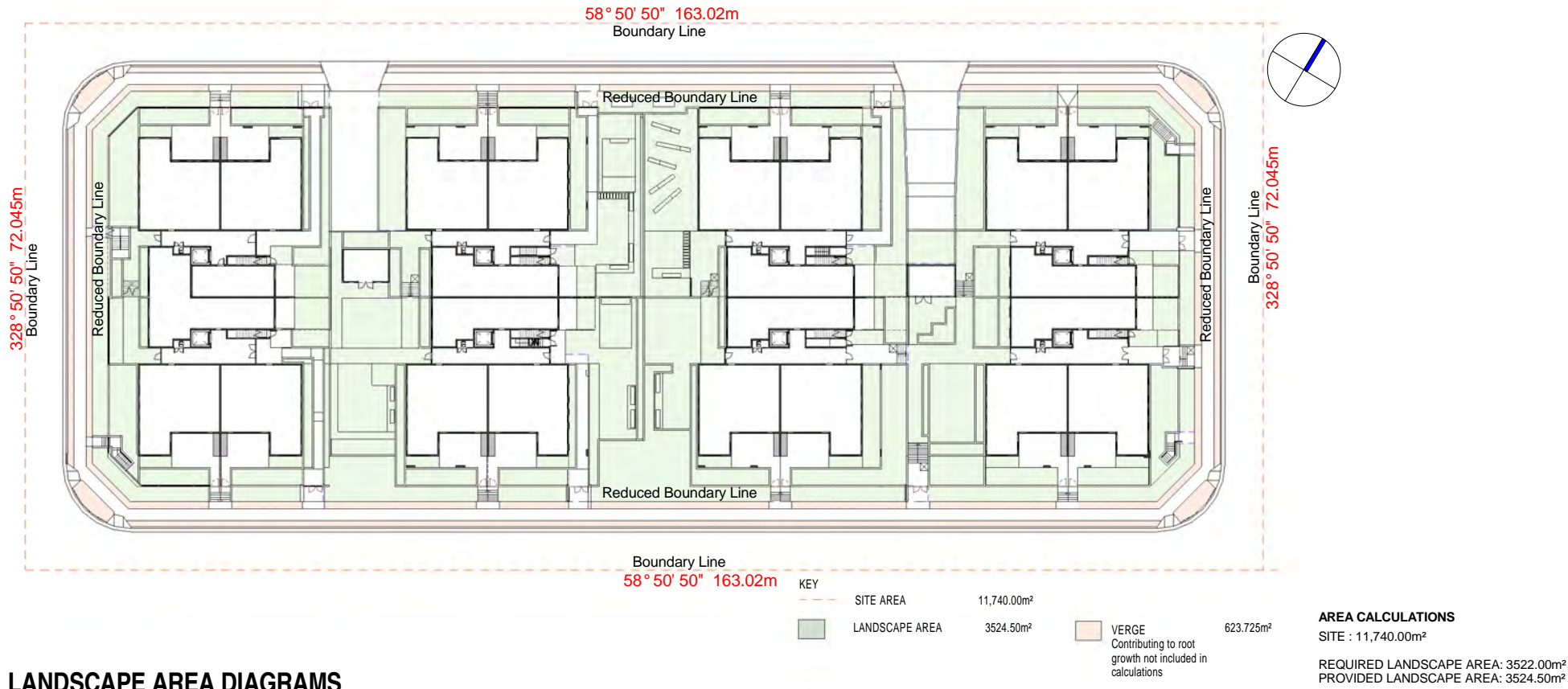
PERSPECTIVE-VIEW FROM ROAD NO.4



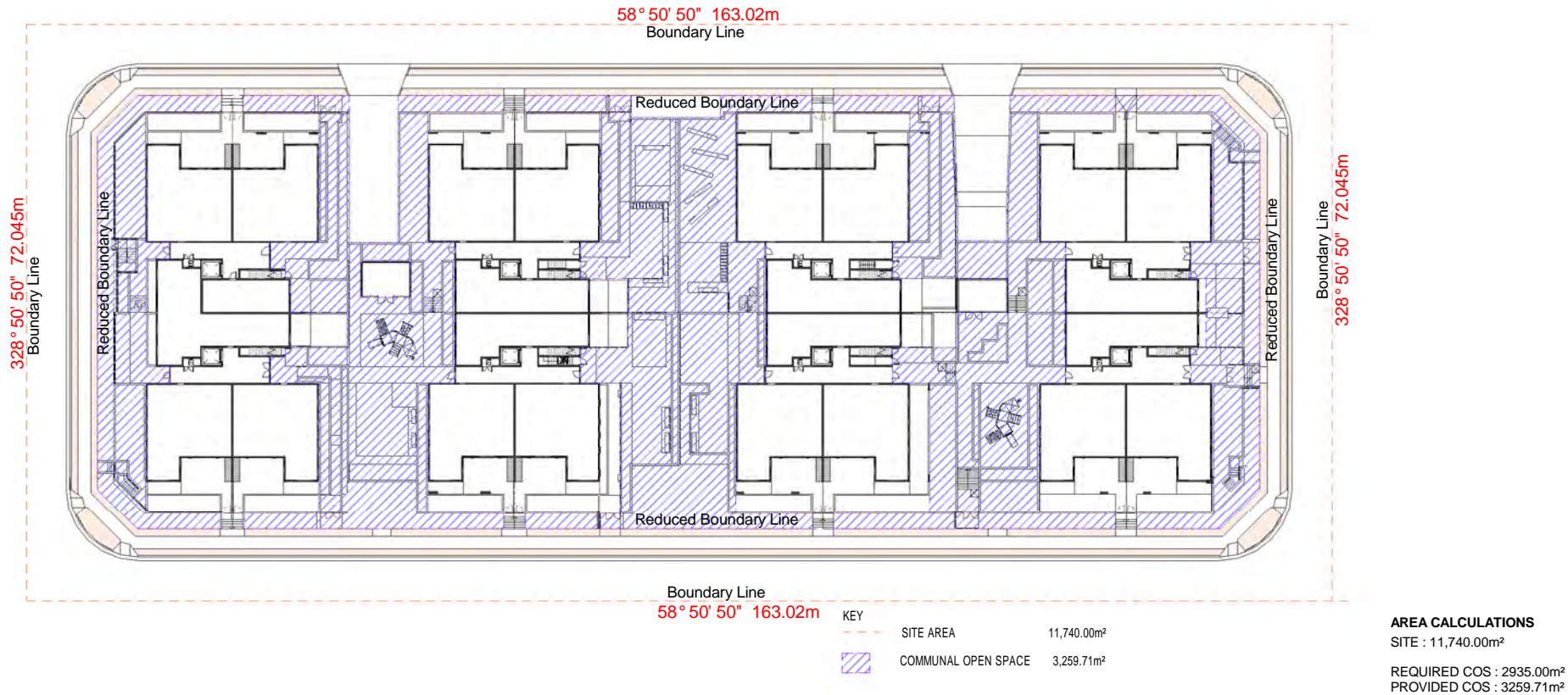
PERSPECTIVE-VIEW FROM ROAD NO.2

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
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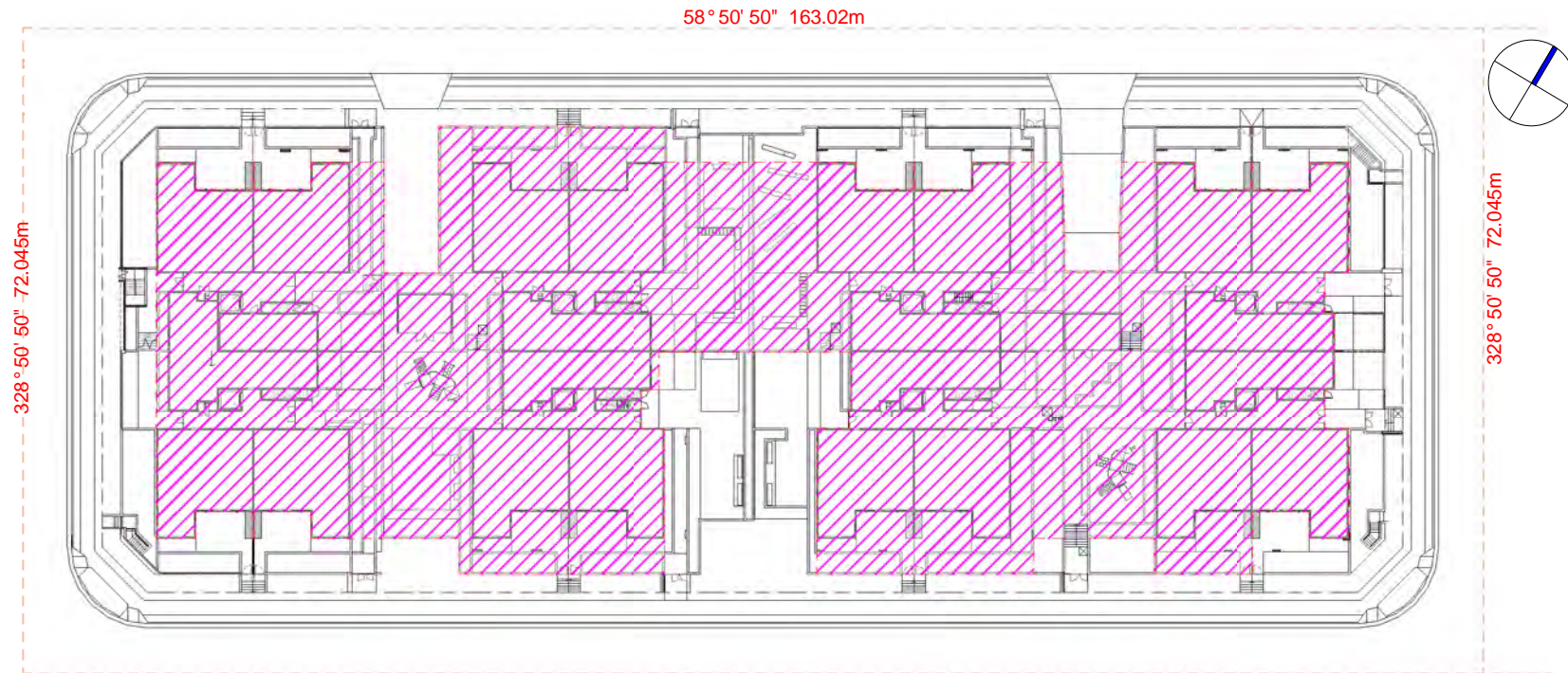


LANDSCAPE AREA DIAGRAMS



COMMUNAL OPEN SPACE DIAGRAMS

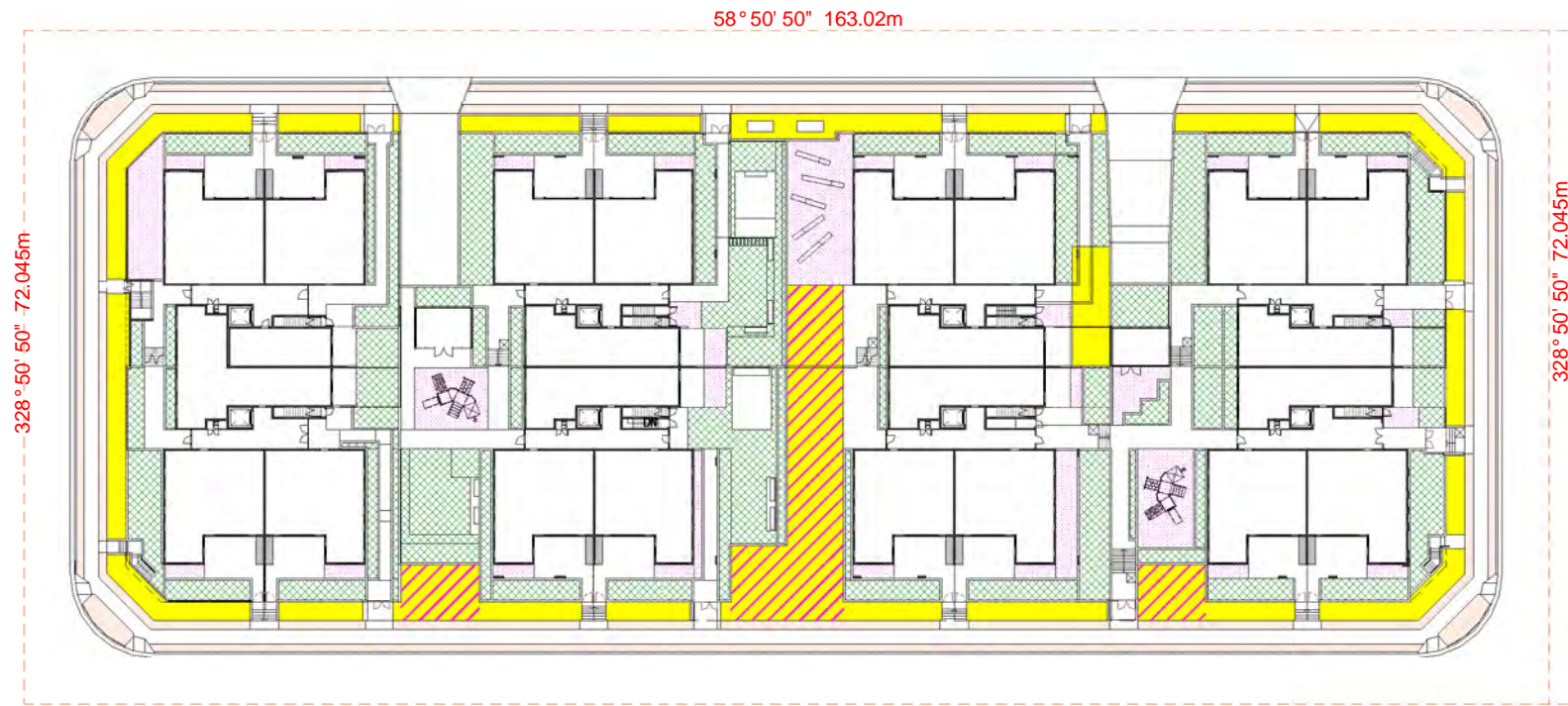
ISSUE	DATE	AMENDMENT
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SITE COVERAGE DIAGRAMS

KEY	
	SITE AREA 11740.00m²
	SITE COVERAGE 5176.70m²
All hard surface areas that are more than 1m above natural ground level have been included	

AREA CALCULATIONS
SITE : 11,740.00m²
REQUIRED MAX. SITE COVERAGE: 5,870.00m²
PROVIDED SITE COVERAGE: 5,176.70m²



DEEP SOIL ZONE DIAGRAMS

KEY	
	SITE AREA 11,740.00m²
	DEEP SOIL AREA 629.00m²
	Only areas of natural deep soil
	DEEP SOIL AREA 355.20m²
	Areas with 6mx6m minimum dimensions
	DEEP SOIL AREA 984.20m²
	Total areas of natural deep soil
	More than 1m deep planting on structure 1415.14m²
	Less than 1m deep planting on structure 373.25m²
	VERGE 623.725m²
	Contributing to root growth

AREA CALCULATIONS
SITE : 11,740.00m²
Natural Deep Soil = 984.20m²
>1M Deep on Structure = 1,415.14m²
Total = 2,399.34m²
ADG Requirements 7% of Site = 821.80m²
PROVIDED DEEP SOIL = 2,399.34m²
20.43% of Site

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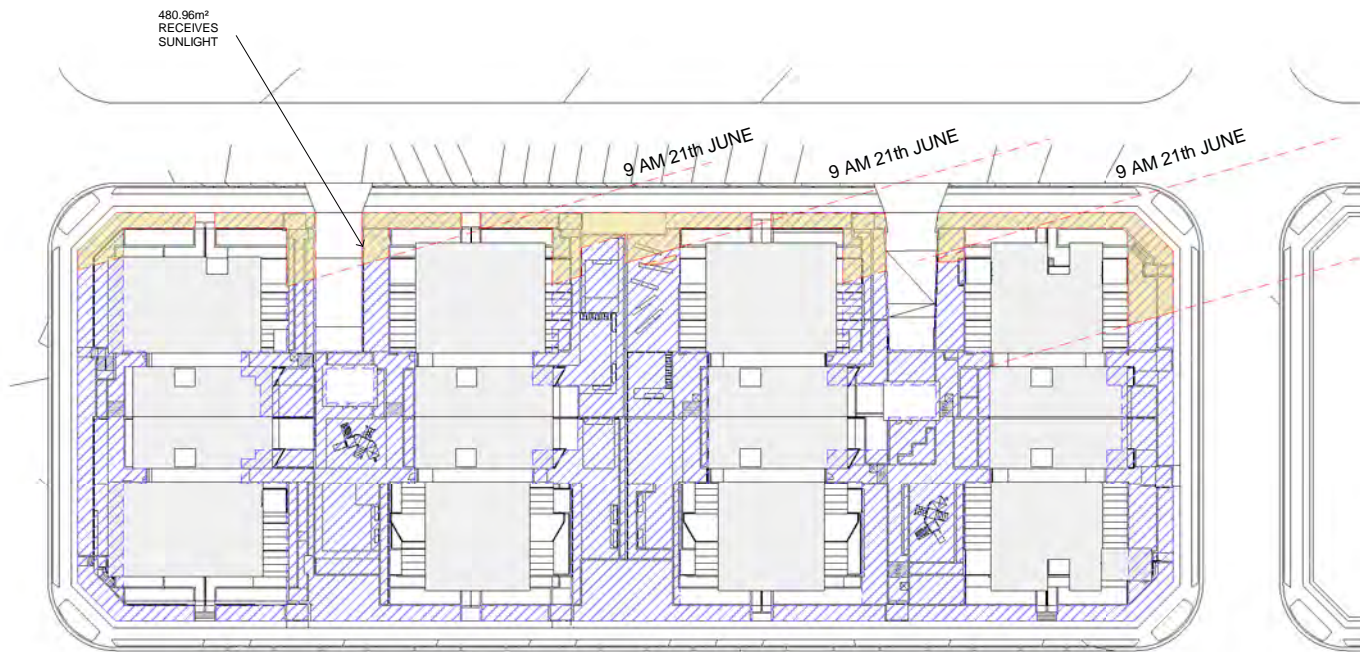
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DEVELOPMENT APPLICATION

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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
**59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155(SITE - 2)**
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
**SITE COVERAGE, DEEP SOIL
ZONE DIAGRAMS CALC**
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN

ISSUE:
F
SHEET :
DA-A602



LEGEND:

COMMUNAL OPEN SPACE

SOLAR

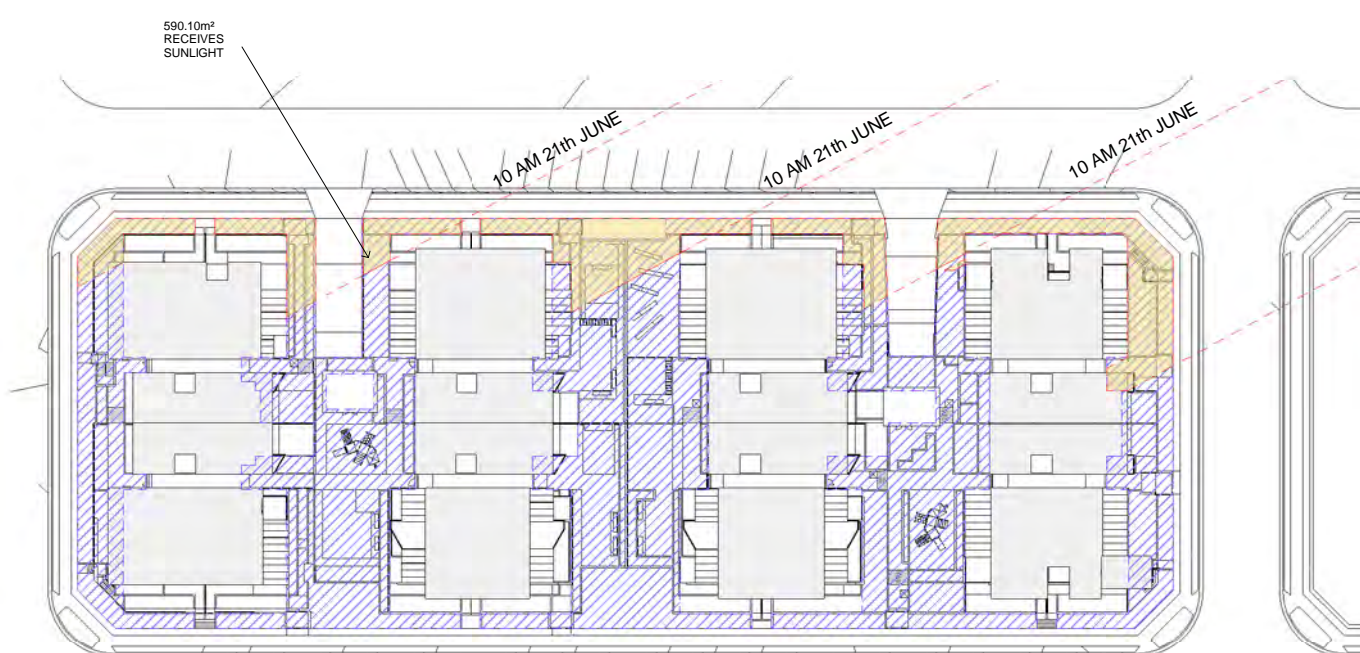
	REQUIRED	PROPOSED
COMMUNAL OPEN SPACE	25% OF SITE 2,935.00m²	27.57% OF SITE 3,237.20m²

ADG requires 50% direct sunlight for a minimum of 2 hours between 9 am up to 3 pm on 21 June(mid winter)

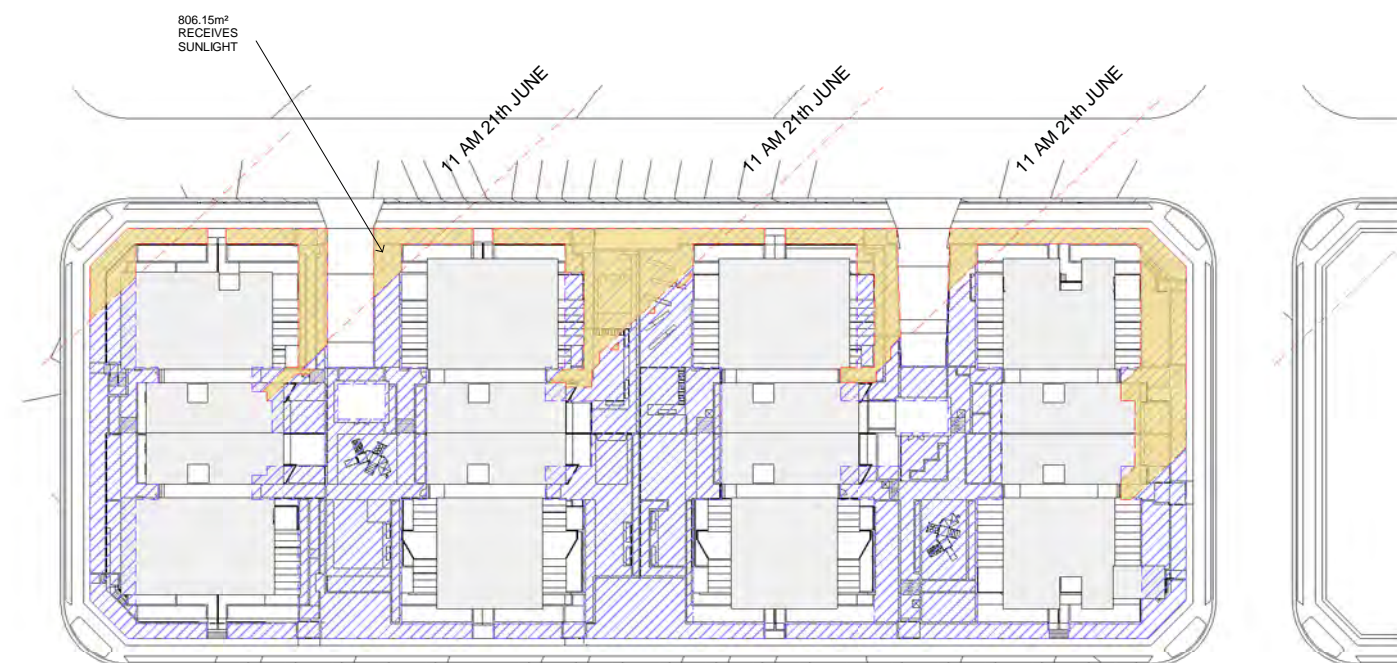
HOURLY	RECIEVES (m²)	PERCENTAGES(1467.50m²)
9 00 AM	480.96m²	32.77%
10 00 AM	590.10m²	40.21%
11 00 AM	806.15m²	54.93%
12 00 PM	1086.70m²	74.05%
1 00 PM	1753.12m²	119.46%
2 00 PM	2733.22m²	186.25%
3 00 PM	1961.82m²	133.70%

RECEIVES 3 HRS SOLAR ACCESS

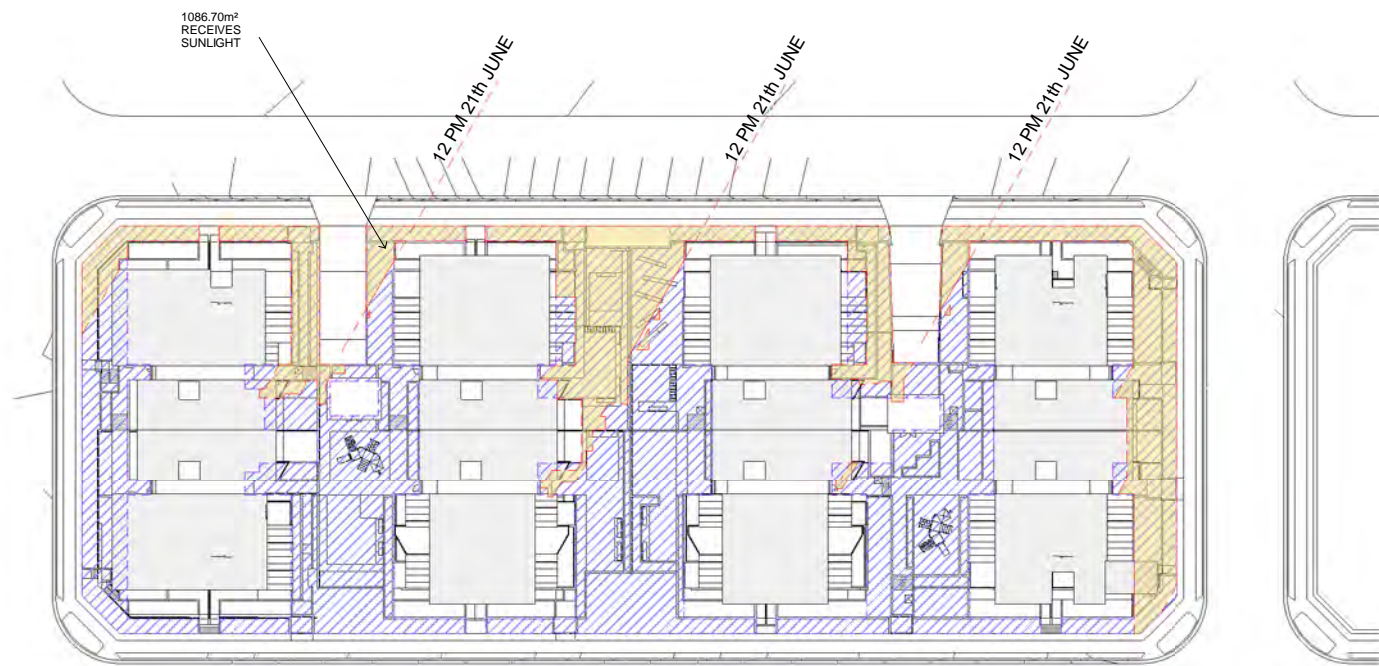
COMMUNAL OPEN SPACE
SOLAR ACCESS DIAGRAM
JUNE 21
9:00 AM



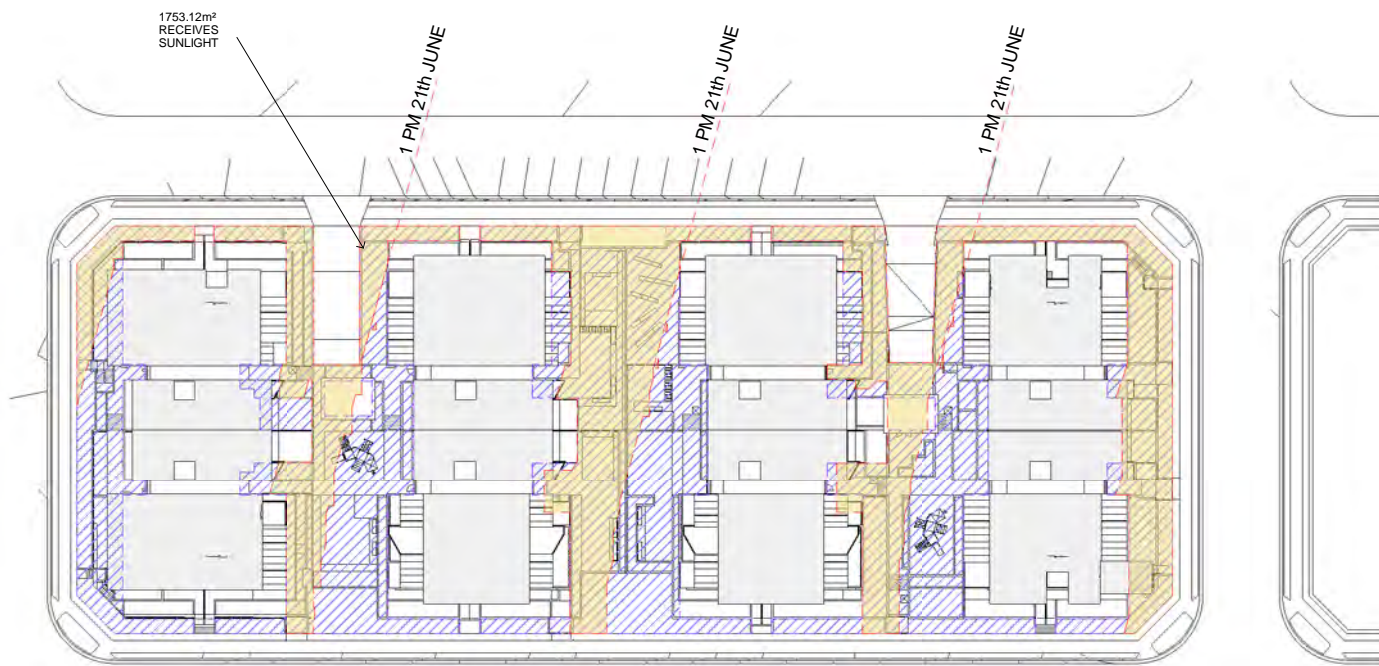
COMMUNAL OPEN SPACE
SOLAR ACCESS DIAGRAM
JUNE 21
10:00 AM



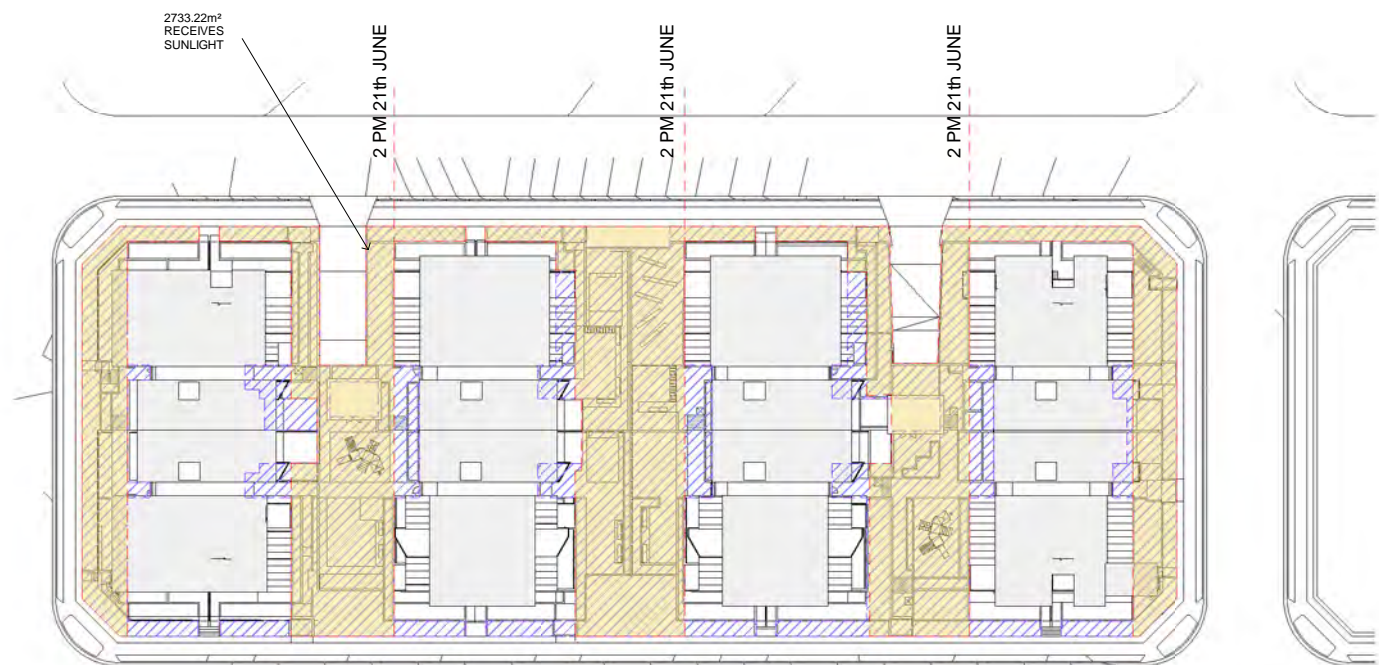
COMMUNAL OPEN SPACE
SOLAR ACCESS DIAGRAM
JUNE 21
11:00 AM



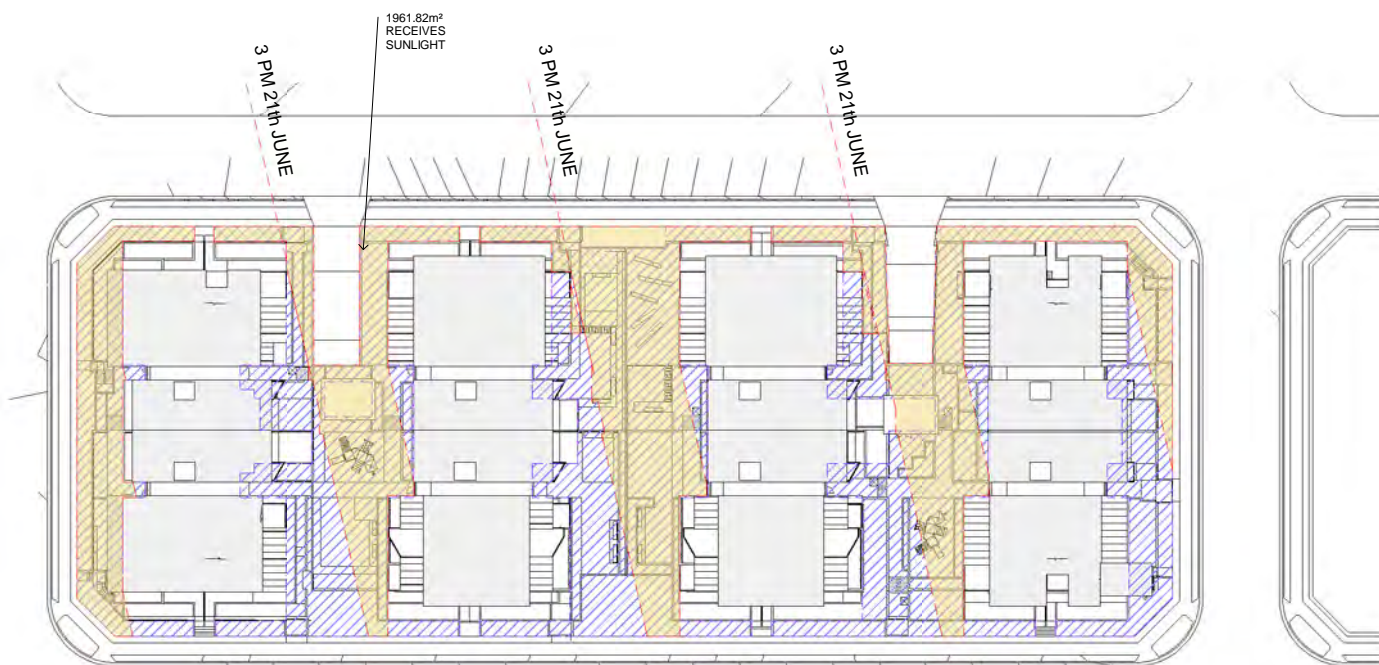
COMMUNAL OPEN SPACE
SOLAR ACCESS DIAGRAM
JUNE 21
12:00 PM



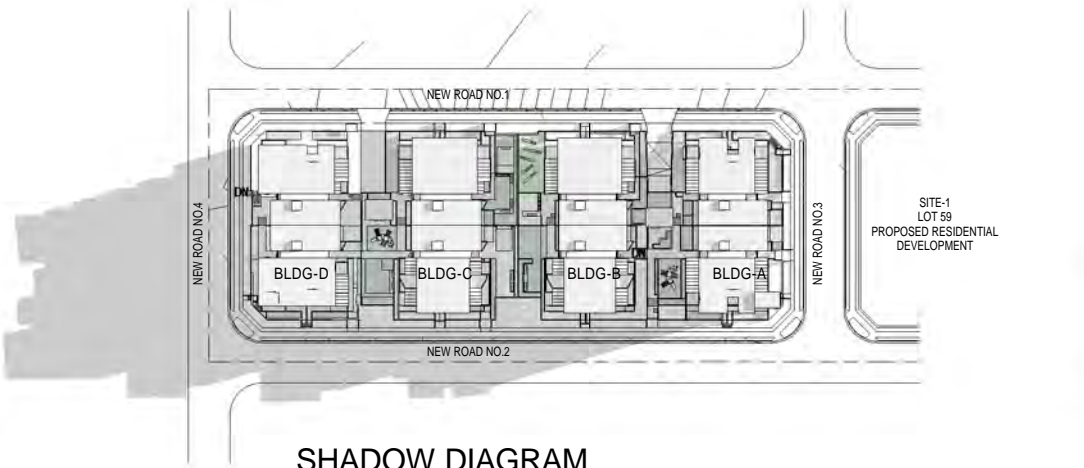
COMMUNAL OPEN SPACE
SOLAR ACCESS DIAGRAM
JUNE 21
1:00 PM



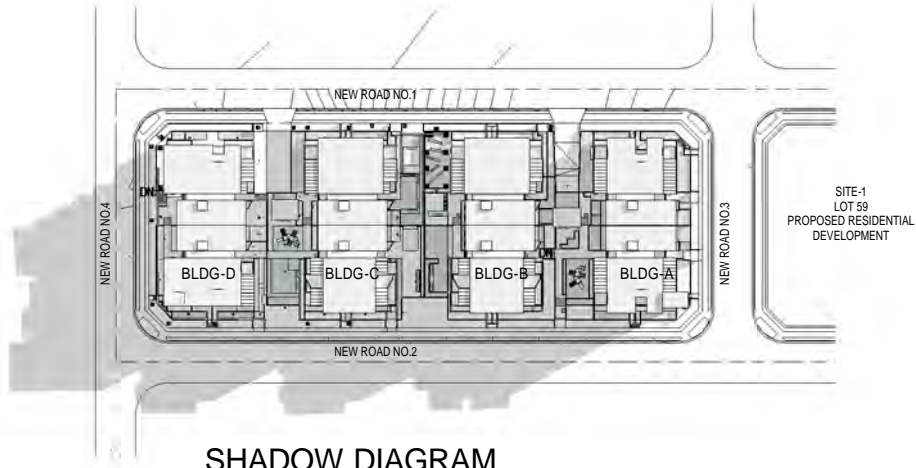
COMMUNAL OPEN SPACE
SOLAR ACCESS DIAGRAM
JUNE 21
2:00 PM



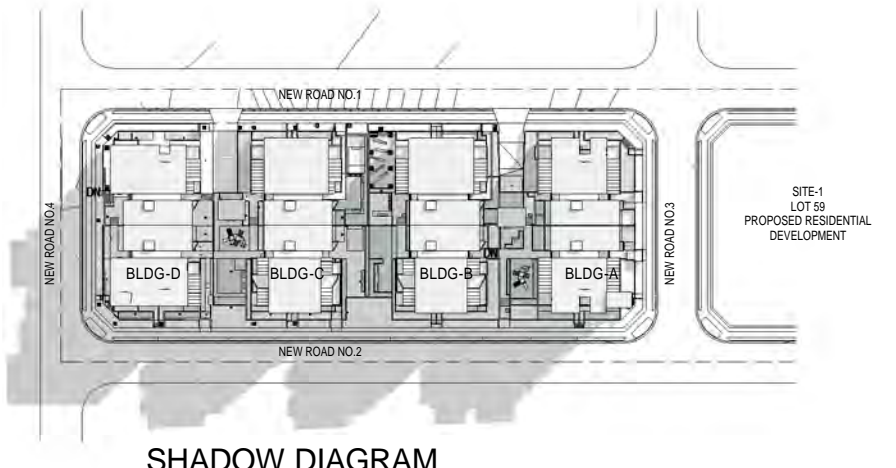
COMMUNAL OPEN SPACE
SOLAR ACCESS DIAGRAM
JUNE 21
3:00 PM



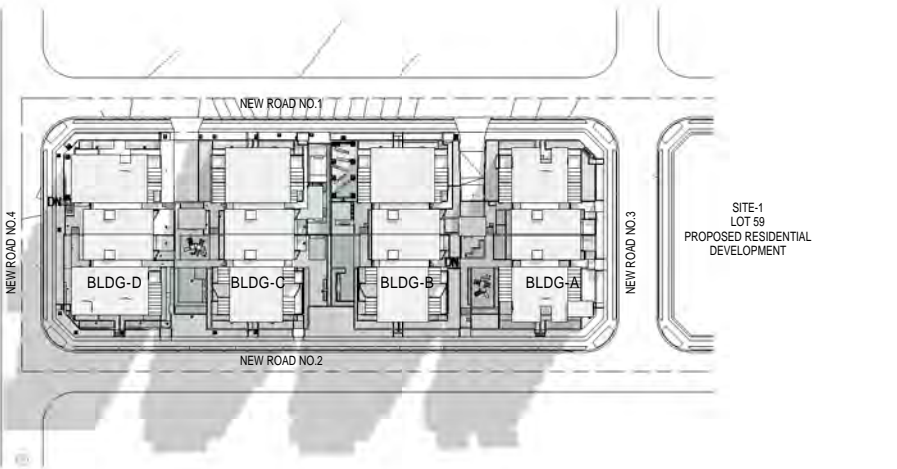
SHADOW DIAGRAM
WINTER SOLSTICE
JUNE 21
9:00 AM



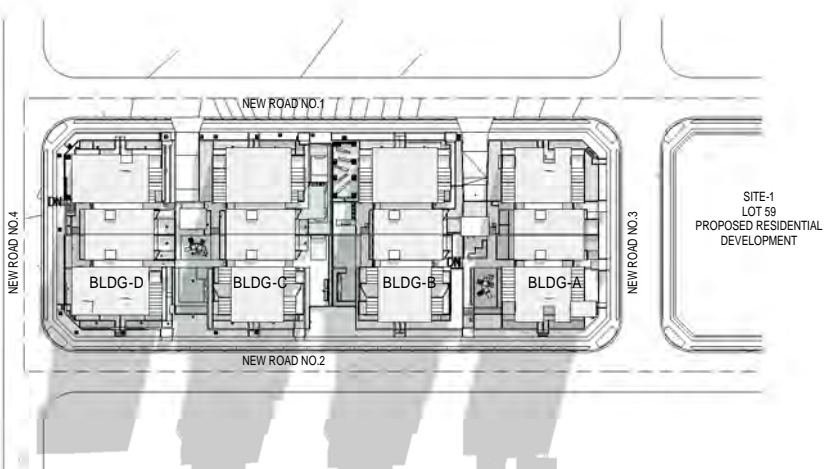
SHADOW DIAGRAM
WINTER SOLSTICE
JUNE 21
10:00 AM



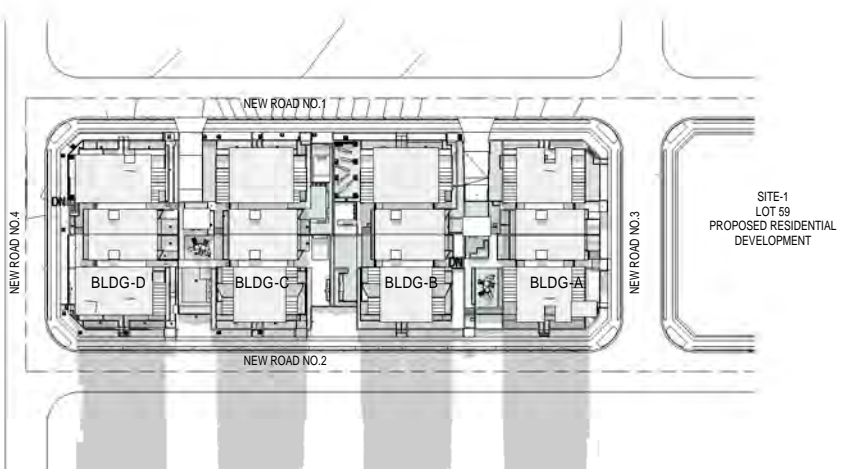
SHADOW DIAGRAM
WINTER SOLSTICE
JUNE 21
11:00 AM



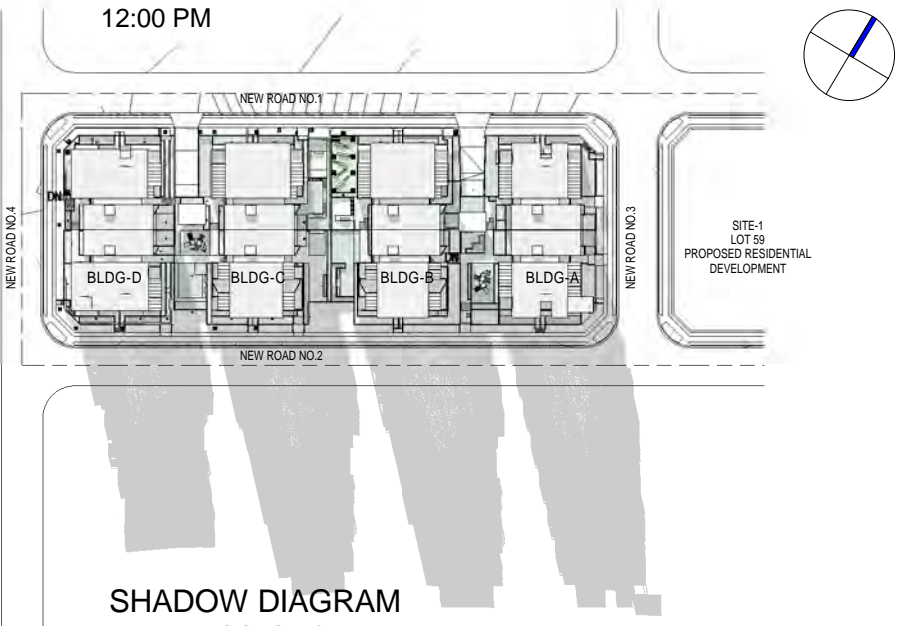
SHADOW DIAGRAM
WINTER SOLSTICE
JUNE 21
12:00 PM



SHADOW DIAGRAM
WINTER SOLSTICE
JUNE 21
1:00 PM



SHADOW DIAGRAM
WINTER SOLSTICE
JUNE 21
2:00 PM



SHADOW DIAGRAM
WINTER SOLSTICE
JUNE 21
3:00 PM

SOLAR ACCESS COMPLIANT	176 OF 239 OR 73.64%
CROSS VENTILATION	192 OF 239 OR 80.00%
NO DIRECT SUNLIGHT	20 OF 239 OR 8.37%
DOES NOT RECEIVE MINIMUM 2HRS SUNLIGHT	43 OF 239 OR 17.99%

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D	15-12-17	Refer to notes as requested by council
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A	20-01-17	DRAFT ISSUE- for consultants review

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 - 1996.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.

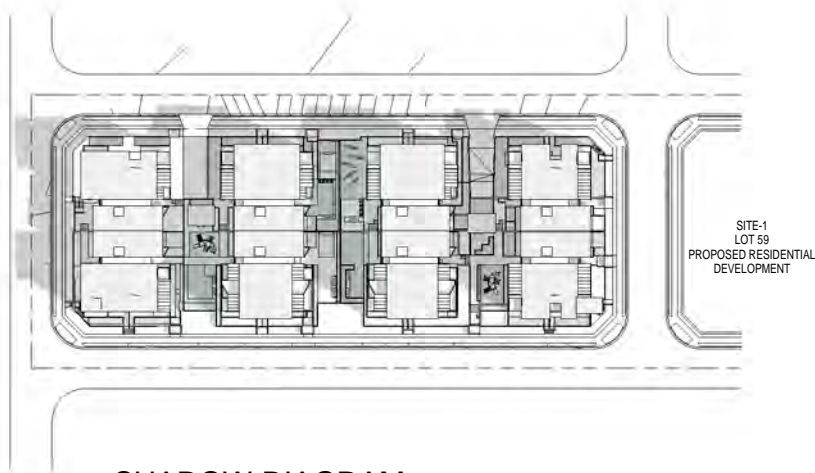


PROJECT STATUS:
DEVELOPMENT APPLICATION

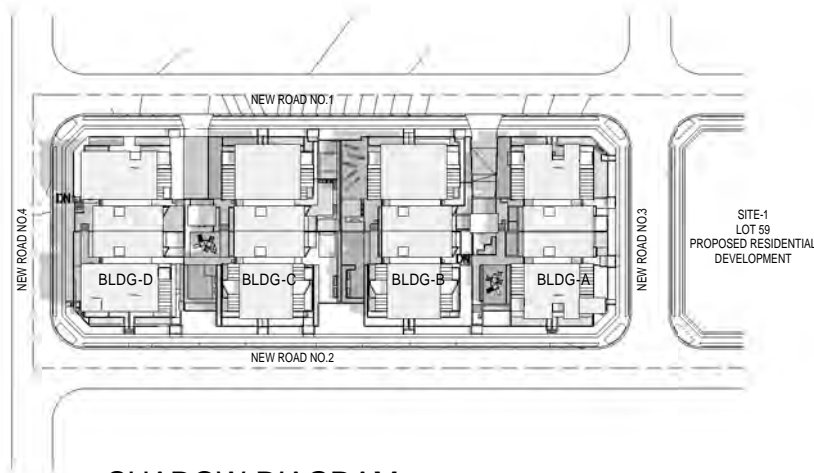
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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
59 CUDGEGONG ROAD, ROUSE HILL, NSW 2155 (SITE - 2)
CLIENT:
The Wickwood Property Group Pty Ltd

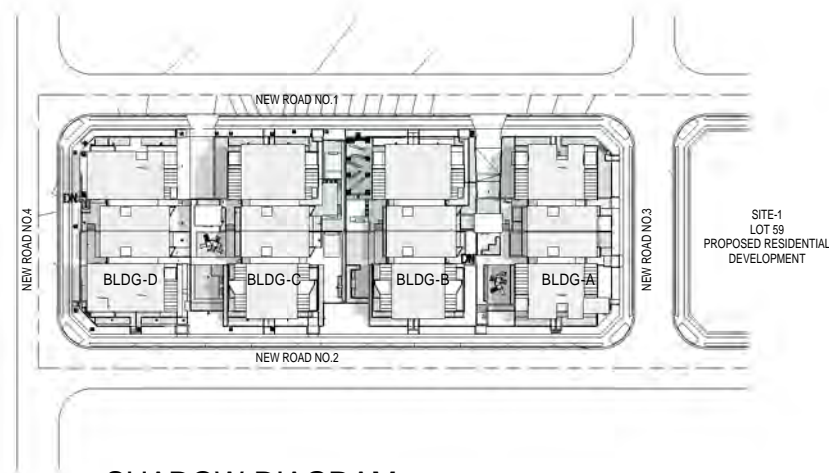
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DESIGN: NS	DRAWN: AJRSA	DATE: JUNE 2016	SCALE: AS SHOWN	SHEET : DA-A605



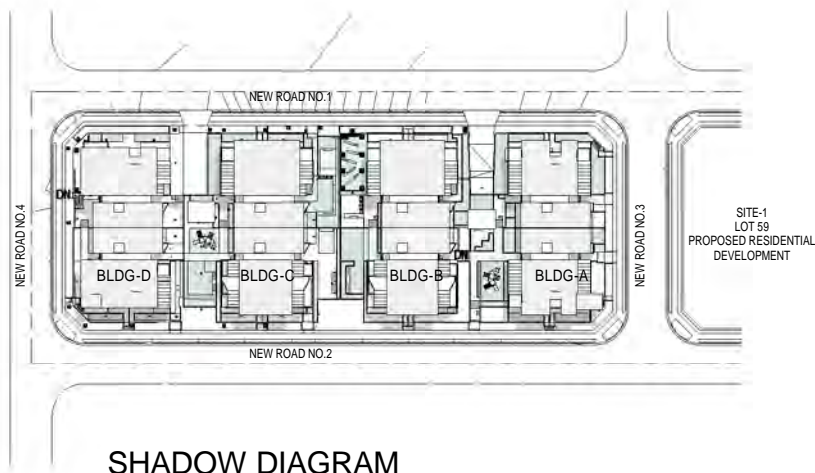
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SUMMER SOLSTICE
DECEMBER 21
9:00 AM



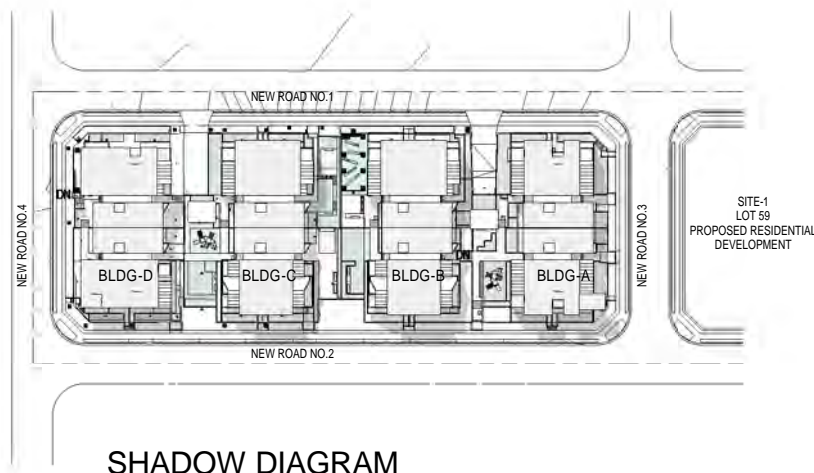
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SUMMER SOLSTICE
DECEMBER 21
10:00 AM



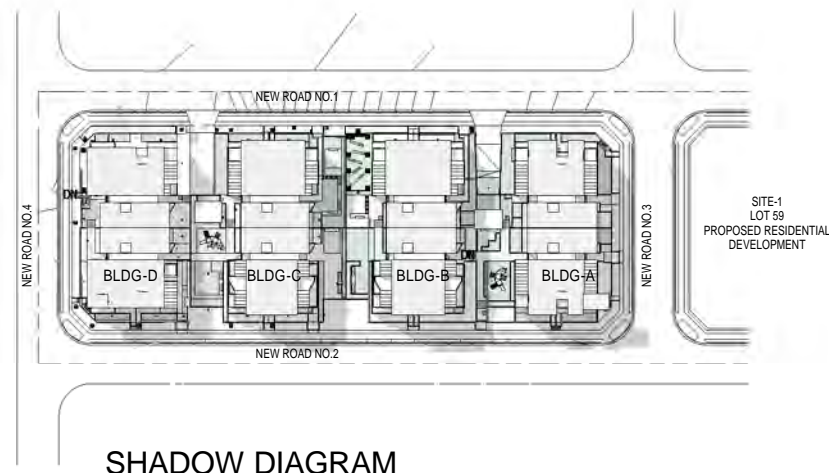
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SUMMER SOLSTICE
DECEMBER 21
11:00 AM



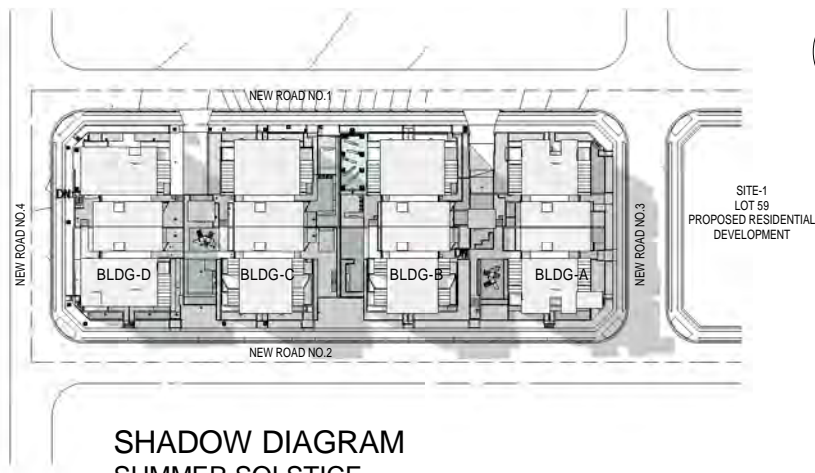
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SUMMER SOLSTICE
JUNE 21
12:00 PM



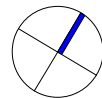
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SUMMER SOLSTICE
DECEMBER 21
1:00 PM



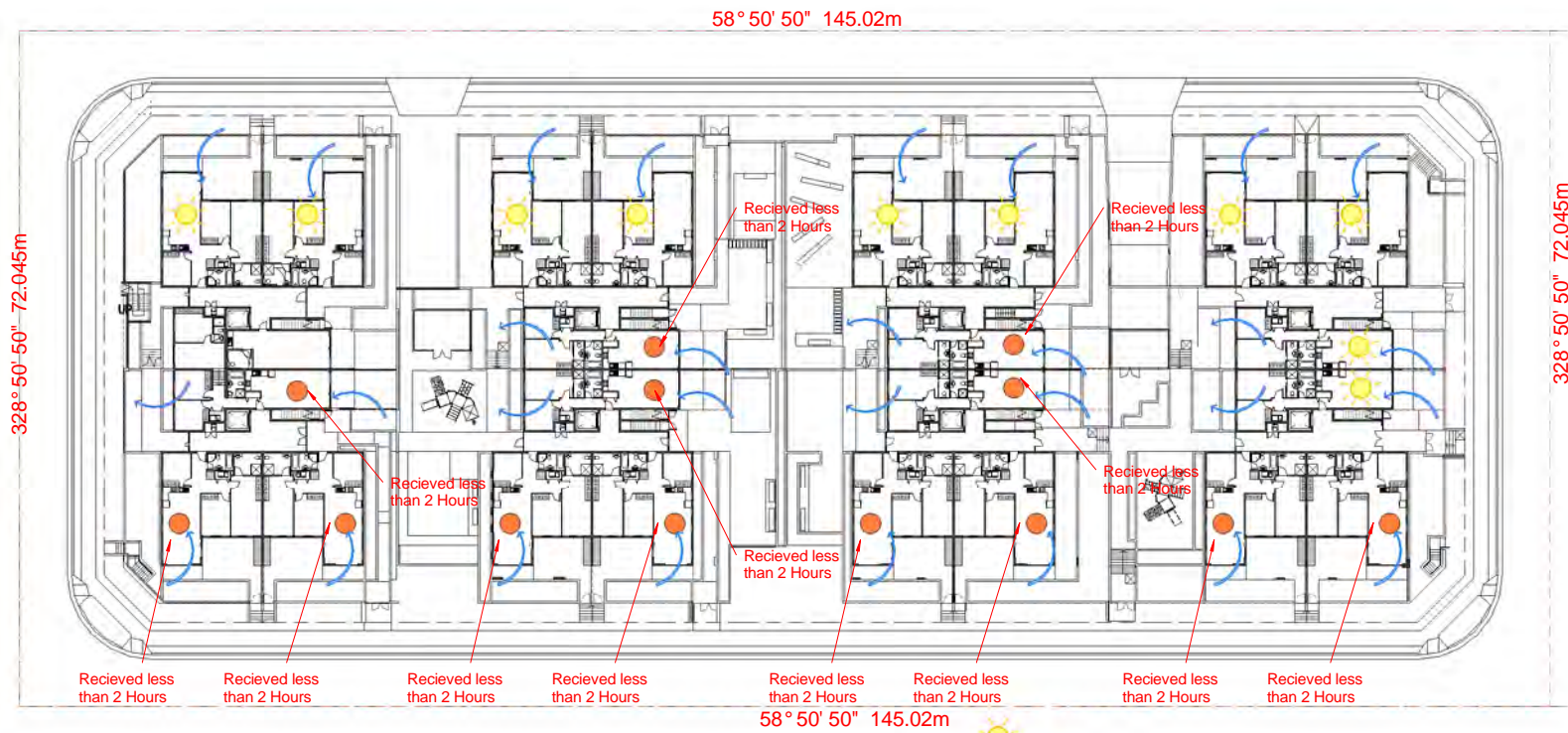
SHADOW DIAGRAM
SUMMER SOLSTICE
DECEMBER 21
2:00 PM



SHADOW DIAGRAM
SUMMER SOLSTICE
DECEMBER 21
3:00 PM



ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review



	SOLAR ACCESS COMPLIANT	10/23	41.70%
	CROSS VENTILATION	23/23	100.00%
	DOES NOT RECEIVE MIN. 2HRS SUNLIGHT	13/23	56.52%
	NO DIRECT SUNLIGHT	0/23	0.00%

SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS



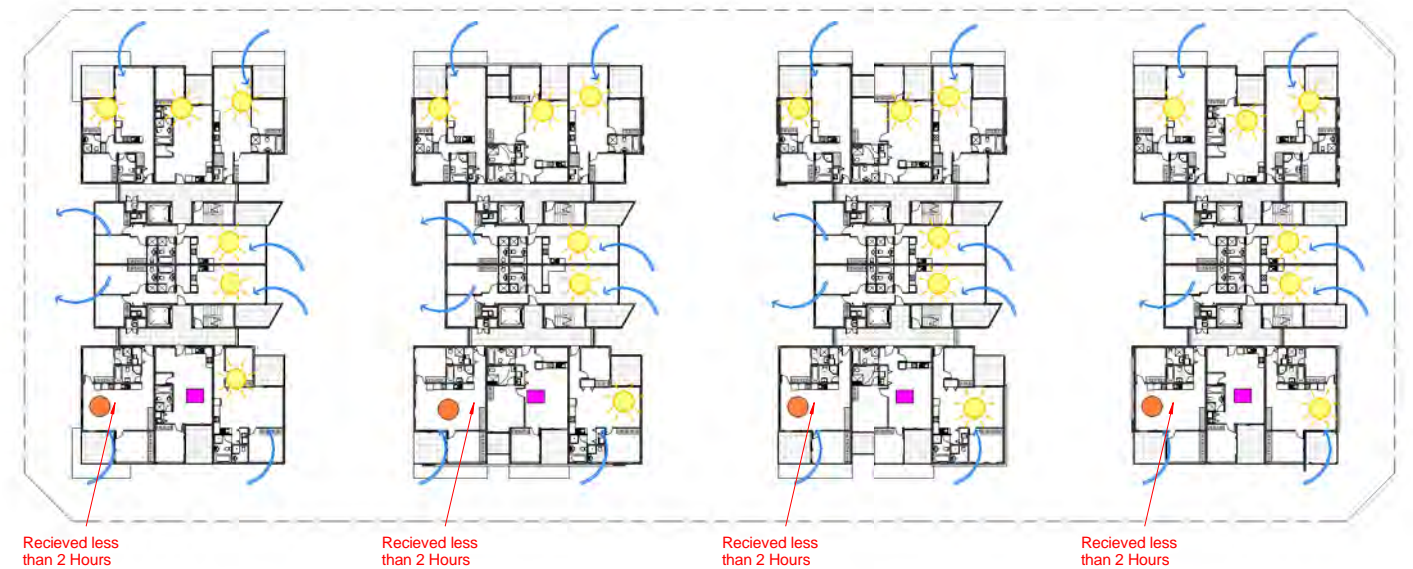
	SOLAR ACCESS COMPLIANT	22/32	68.75%
	CROSS VENTILATION	24/32	75.00%
	DOES NOT RECEIVE MIN. 2HRS SUNLIGHT	6/32	18.75%
	NO DIRECT SUNLIGHT	4/32	12.50%

SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS-L1



	SOLAR ACCESS COMPLIANT	24/32	75.00%
	CROSS VENTILATION	24/32	75.00%
	DOES NOT RECEIVE MIN. 2HRS SUNLIGHT	4/32	12.50%
	NO DIRECT SUNLIGHT	4/32	12.50%

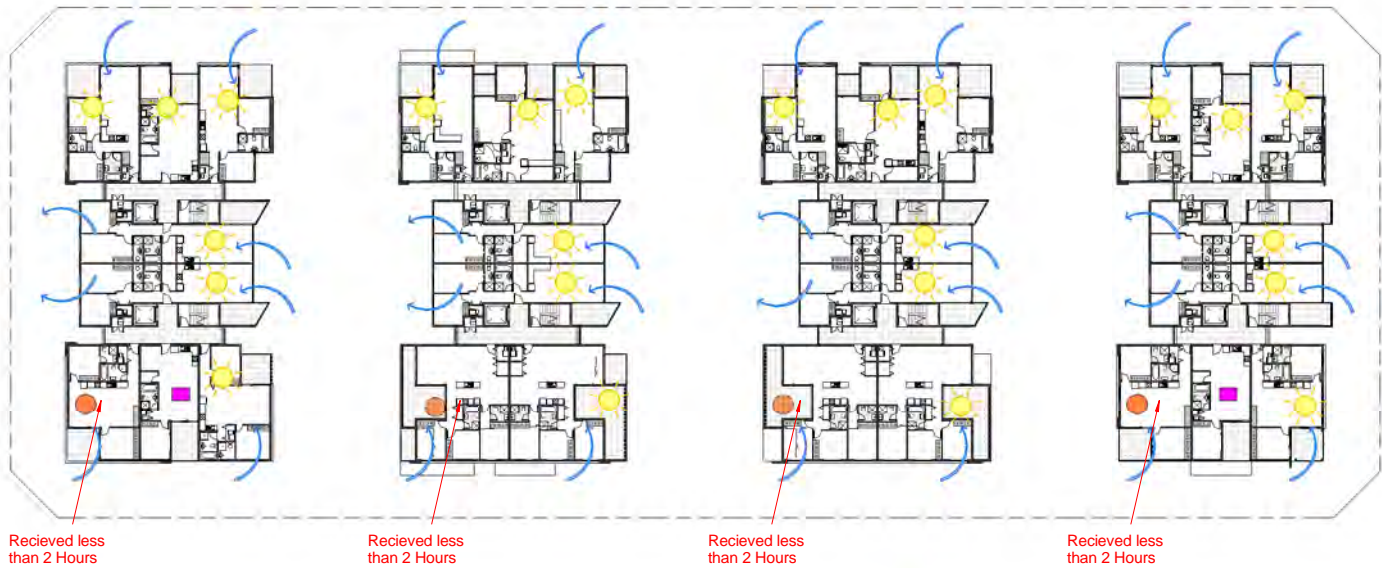
SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS-L2



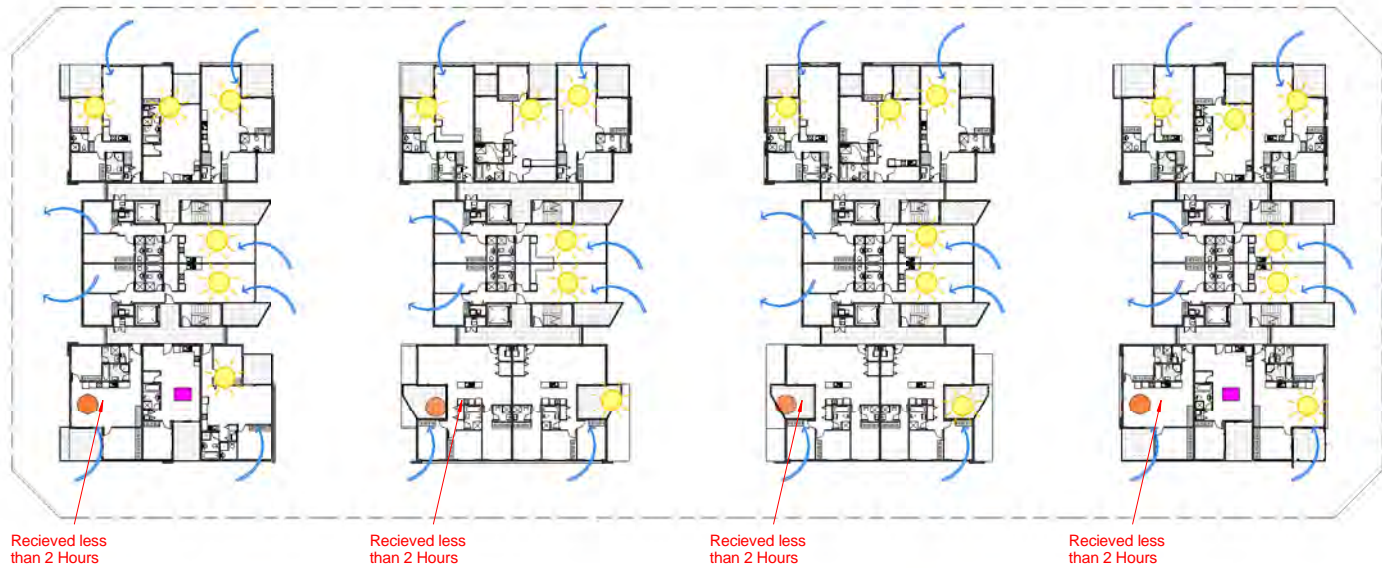
	SOLAR ACCESS COMPLIANT	24/32	75.00%
	CROSS VENTILATION	24/32	75.00%
	DOES NOT RECEIVE MIN. 2HRS SUNLIGHT	4/32	12.50%
	NO DIRECT SUNLIGHT	4/32	12.50%

SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS-L3

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review



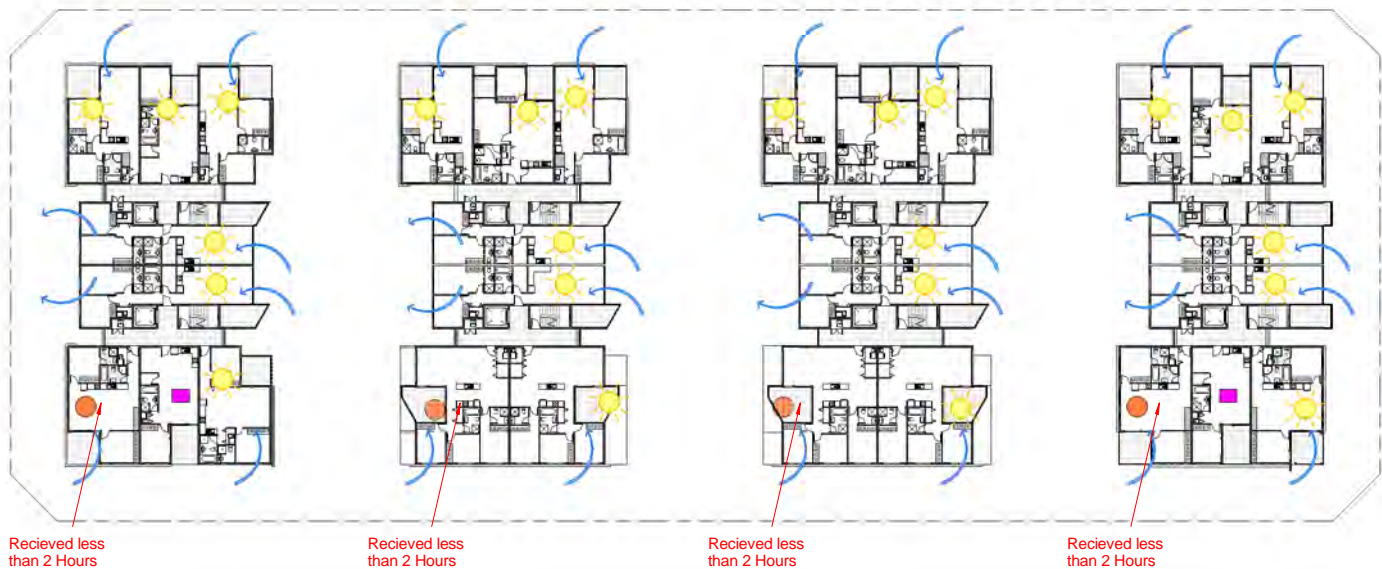
	SOLAR ACCESS COMPLIANT	24/30	80.00%
	CROSS VENTILATION	24/30	80.00%
	DOES NOT RECEIVE MIN. 2HRS SUNLIGHT	4/30	13.33%
	NO DIRECT SUNLIGHT	2/30	6.66%



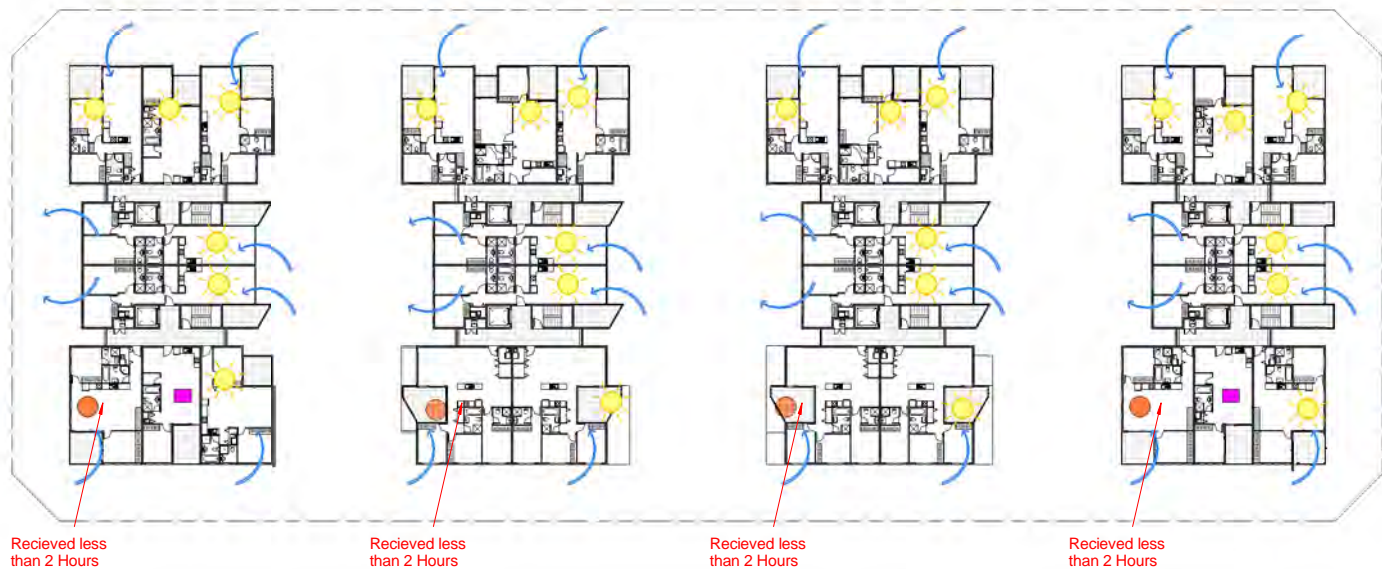
	SOLAR ACCESS COMPLIANT	24/30	80.00%
	CROSS VENTILATION	24/30	80.00%
	DOES NOT RECEIVE MIN. 2HRS SUNLIGHT	4/30	13.33%
	NO DIRECT SUNLIGHT	2/30	6.66%

SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS-L4

SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS-L5



	SOLAR ACCESS COMPLIANT	24/30	80.00%
	CROSS VENTILATION	24/30	80.00%
	DOES NOT RECEIVE MIN. 2HRS SUNLIGHT	4/30	13.33%
	NO DIRECT SUNLIGHT	2/30	6.66%



	SOLAR ACCESS COMPLIANT	24/30	80.00%
	CROSS VENTILATION	24/30	80.00%
	DOES NOT RECEIVE MIN. 2HRS SUNLIGHT	4/30	13.33%
	NO DIRECT SUNLIGHT	2/30	6.66%

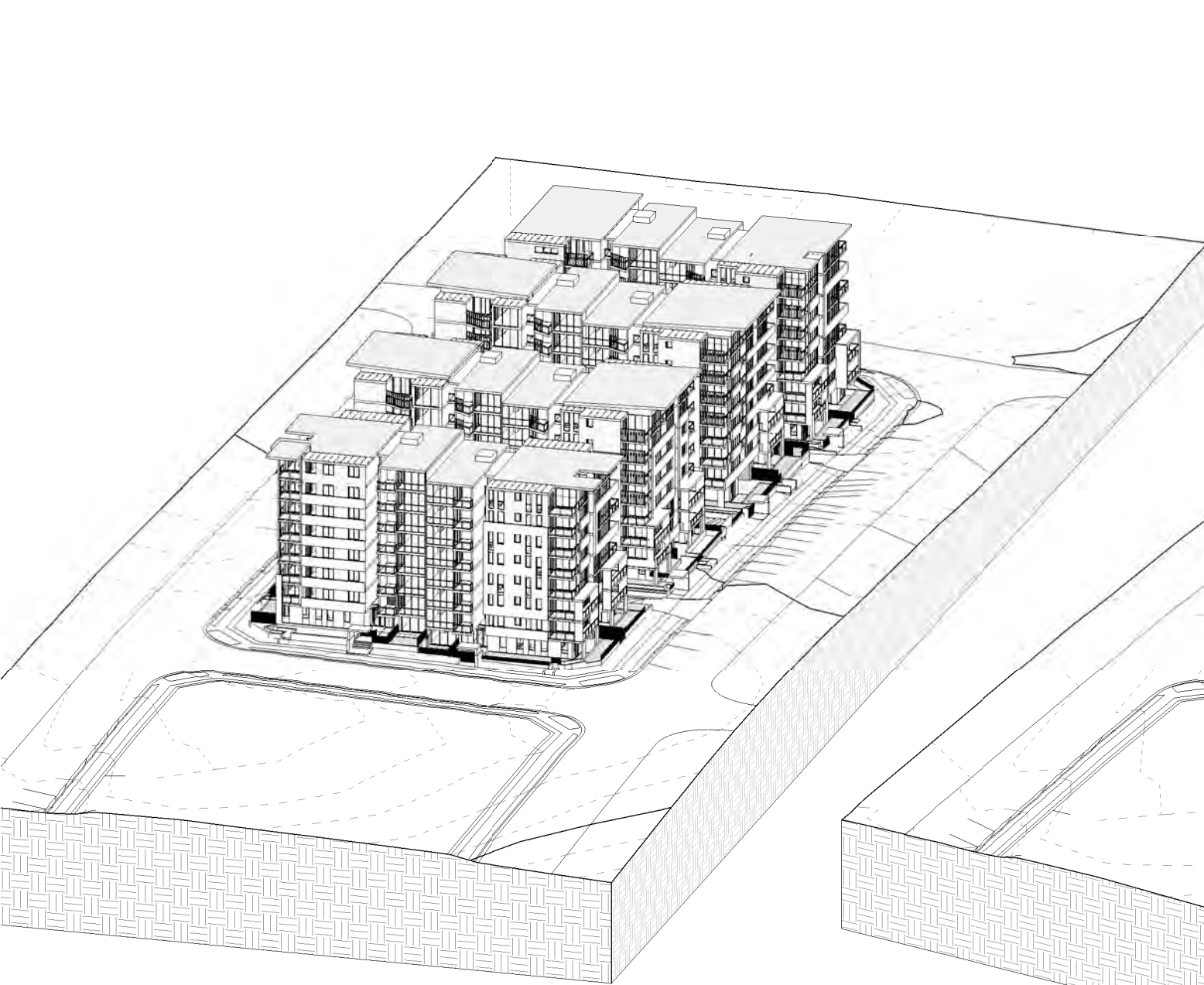
SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS-L6

SOLAR ACCESS AND CROSS VENTILATION DIAGRAMS-L7

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 - 1992.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE DRAINAGE PLAN DESIGNED BY THE STRUCTURAL ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.





3D VIEW TO SUN EXPOSURE ANGLE @ 9 00AM



3D VIEW TO SUN EXPOSURE ANGLE @ 10 00AM

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE IS 1604 - 1992.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.



PROJECT STATUS:
DEVELOPMENT APPLICATION

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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
**59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155(SITE - 2)**
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
3D VIEW TO SUN
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN
ISSUE: F
SHEET :
DA-A607.2



3D VIEW TO SUN EXPOSURE ANGLE @ 11 00AM

3D VIEW TO SUN EXPOSURE ANGLE @ 12 00PM

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

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3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS PER 1:100.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.

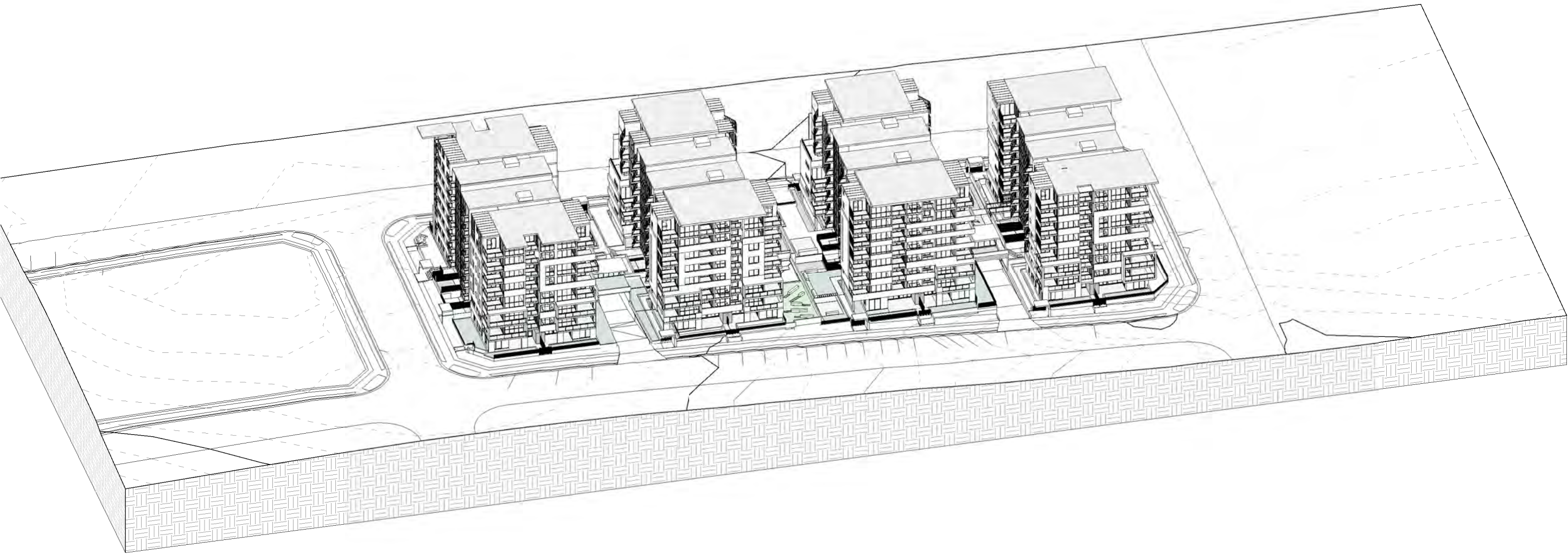


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DEVELOPMENT APPLICATION

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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
**59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155(SITE - 2)**
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
3D VIEW TO SUN
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN
ISSUE: F
SHEET :
DA-A607.3



3D VIEW TO SUN EXPOSURE ANGLE @ 1 00PM



3D VIEW TO SUN EXPOSURE ANGLE @ 2 00PM

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

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4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS NTA - 1995.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.



PROJECT STATUS:
DEVELOPMENT APPLICATION

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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
**59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155(SITE - 2)**
CLIENT:
The Wickwood Property Group Pty Ltd

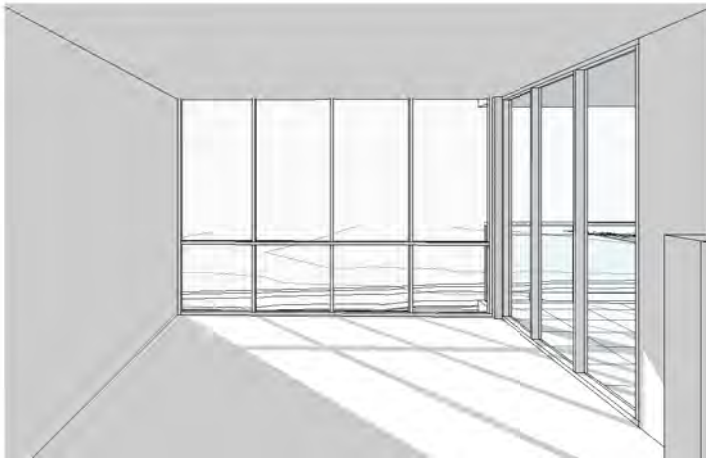
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DESIGN: NS	DRAWN: AJRSA	DATE: JUNE 2016	SCALE: AS SHOWN
		SHEET : DA-A607.4	



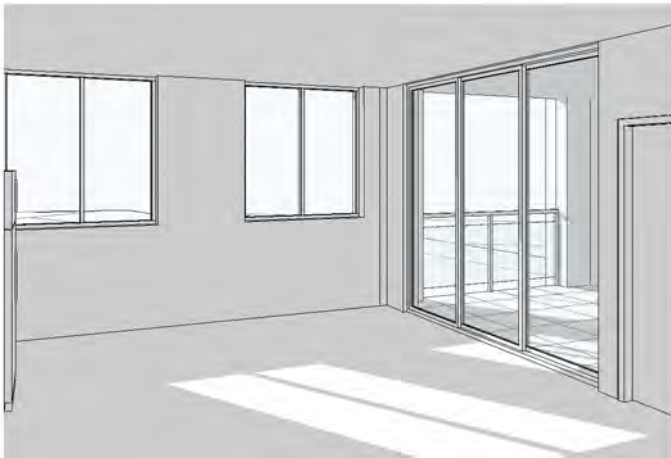
3D VIEW TO SUN EXPOSURE ANGLE @ 3 00PM

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

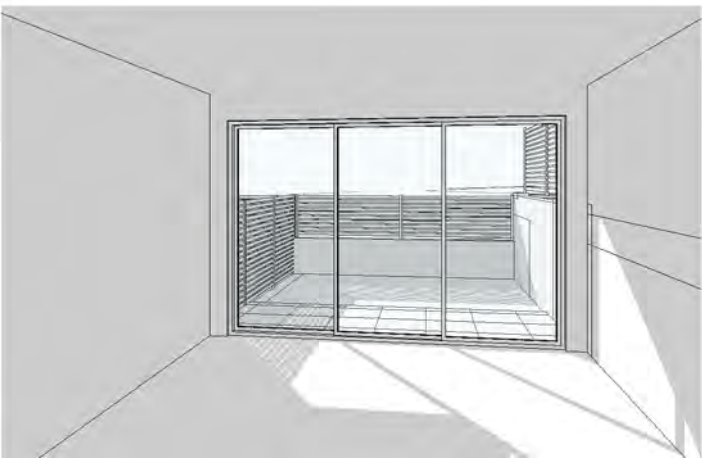




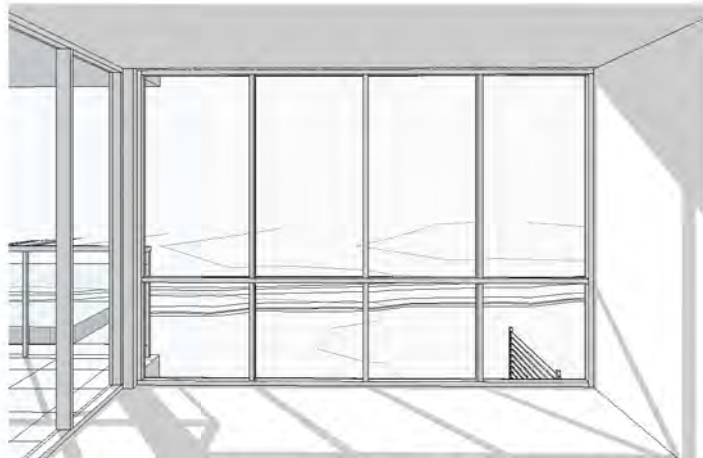
Unit A04 @ 10 00am



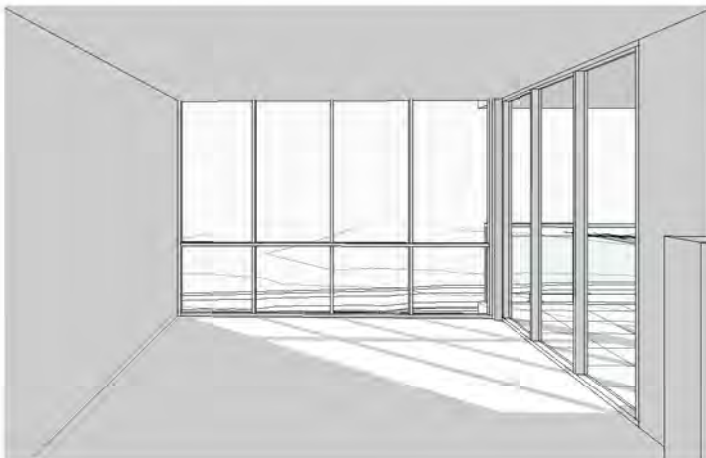
Unit A05 @ 10 00am



Unit A32 @ 10 00 am



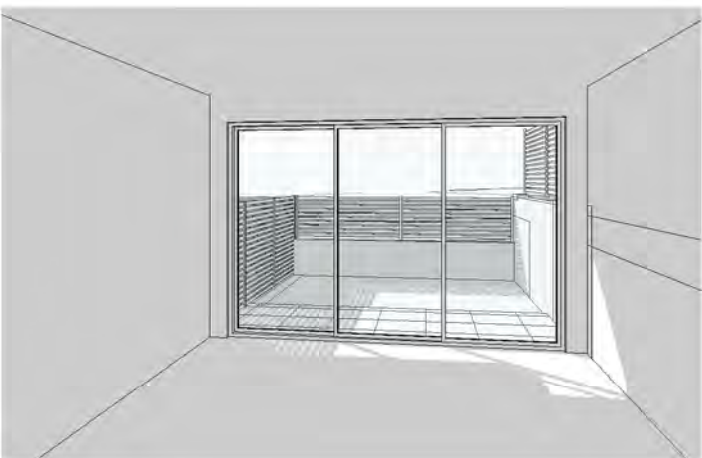
Unit A35 @ 10 00 am



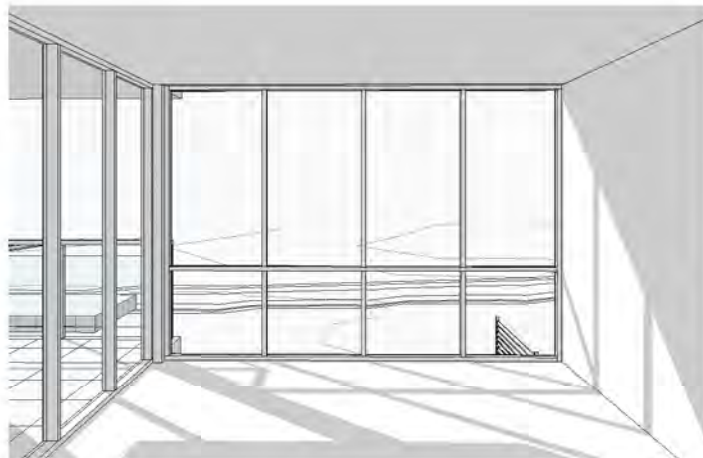
Unit A04 @ 11 00am



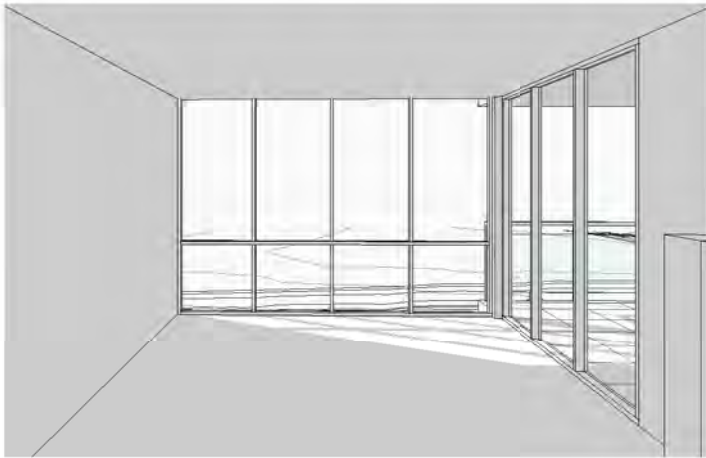
Unit A05 @ 11 00am



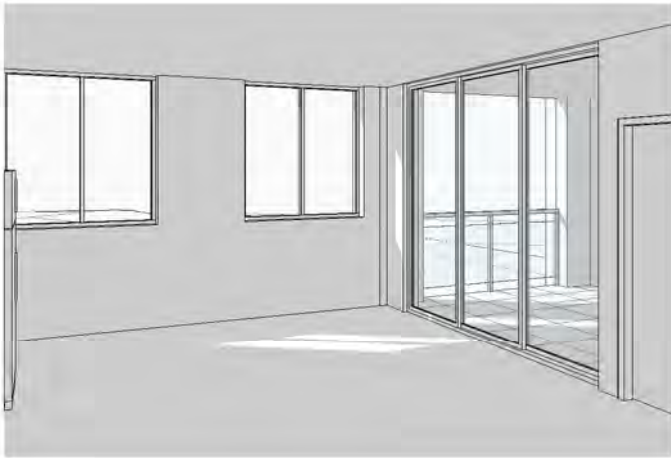
Unit A32 @ 11 00 am



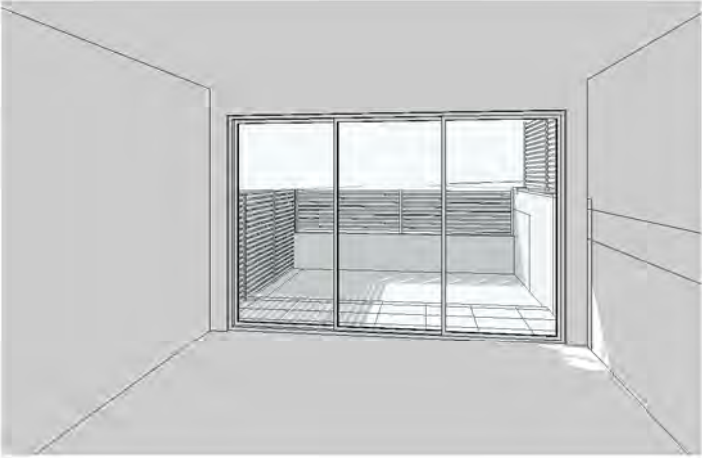
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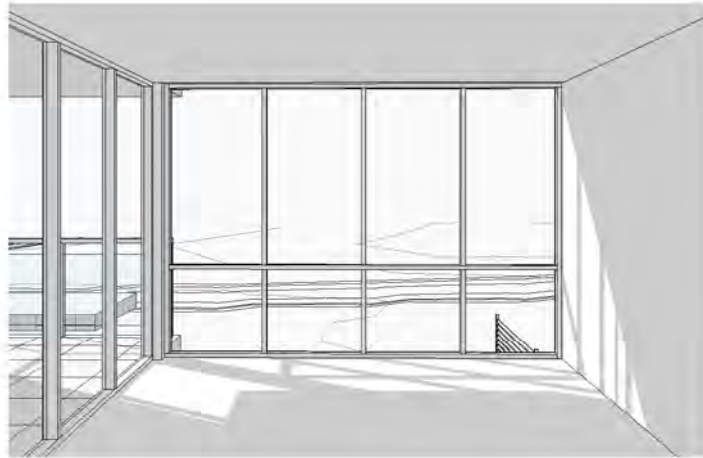
Unit A04 @ 12 00pm



Unit A05 @ 12 00pm

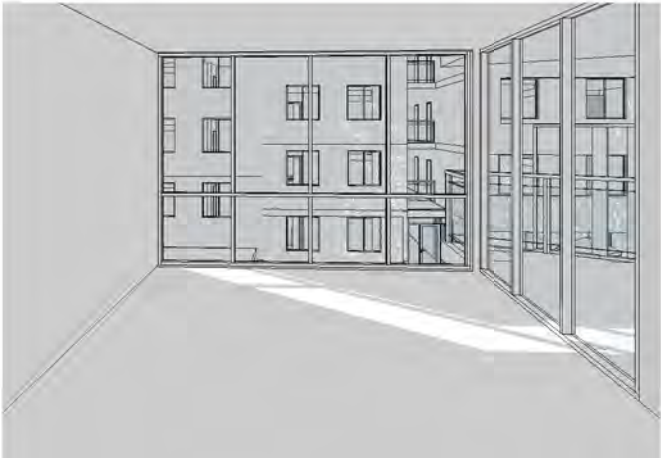


Unit A32 @ 12 00 pm

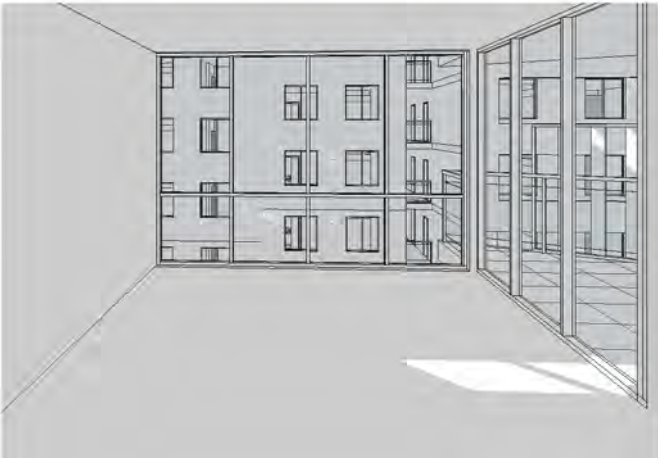


Unit A35 @ 12 00 pm

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review



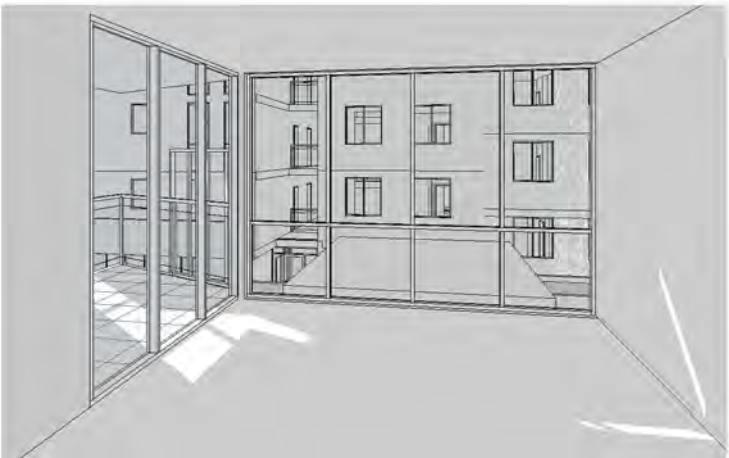
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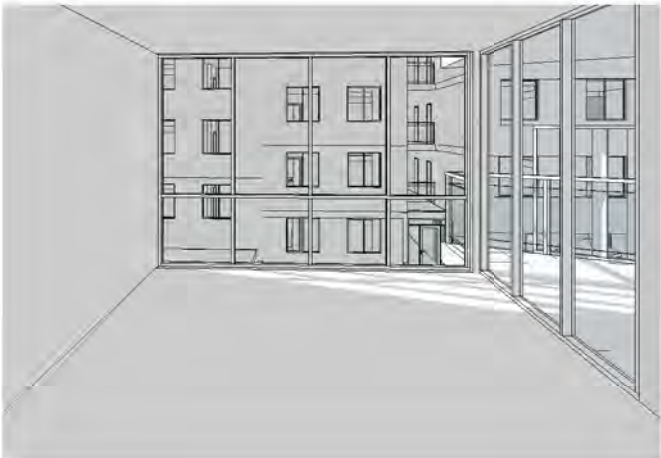
Unit B12 @ 10 50am



Unit B31 @ 10 30am
PREVIOUSLY KNOWN AS UNIT B35



Unit B35 @ 10 30am
PREVIOUSLY KNOWN AS UNIT B39



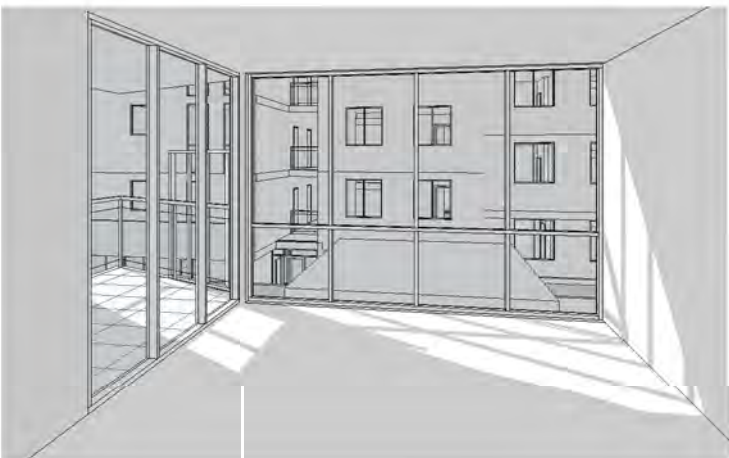
Unit B08 @ 12 25pm



Unit B12 @ 11 50am



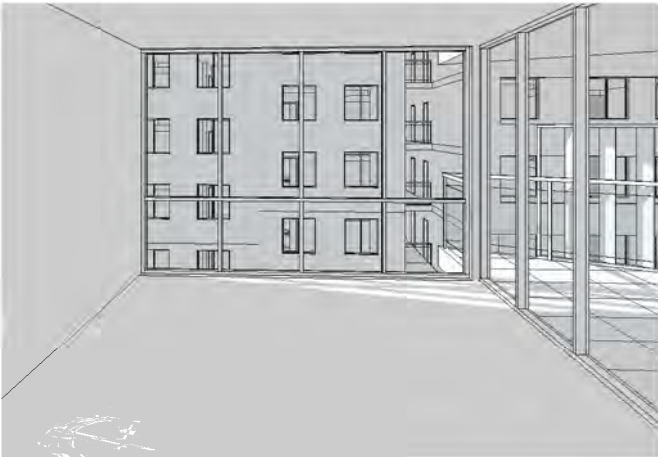
Unit B31 @ 11 30am
PREVIOUSLY KNOWN AS UNIT B35



Unit B35 @ 11 30am
PREVIOUSLY KNOWN AS UNIT B39



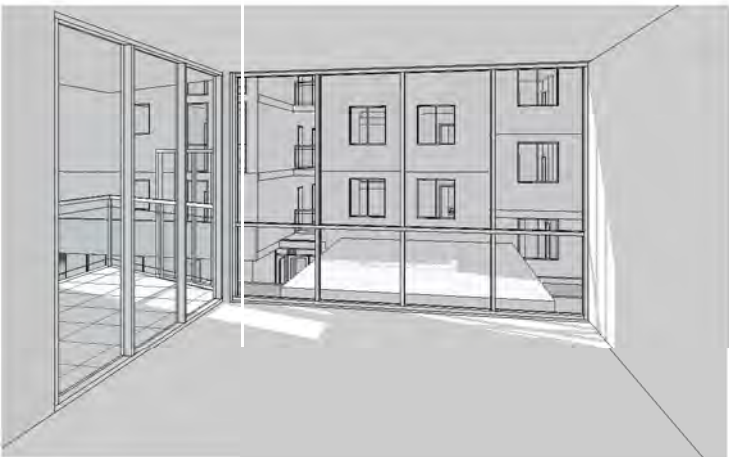
Unit B08 @ 1 25pm



Unit B12 @ 12 50pm



Unit B31 @ 12 30pm
PREVIOUSLY KNOWN AS UNIT B35



Unit B35 @ 12 30pm
PREVIOUSLY KNOWN AS UNIT B39

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
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NOTES:
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5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE (NS 1554 : 1995).
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.



PROJECT STATUS:
DEVELOPMENT APPLICATION

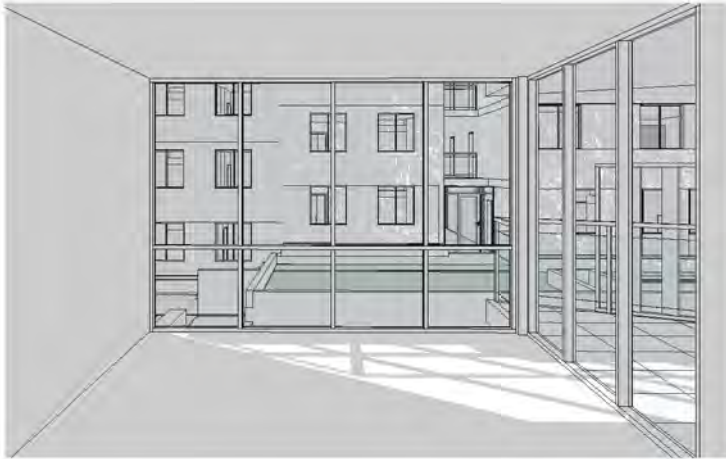
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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
59 CUDGEGONG ROAD, ROUSE HILL, NSW 2155(SITE - 2)
CLIENT:
The Wickwood Property Group Pty Ltd

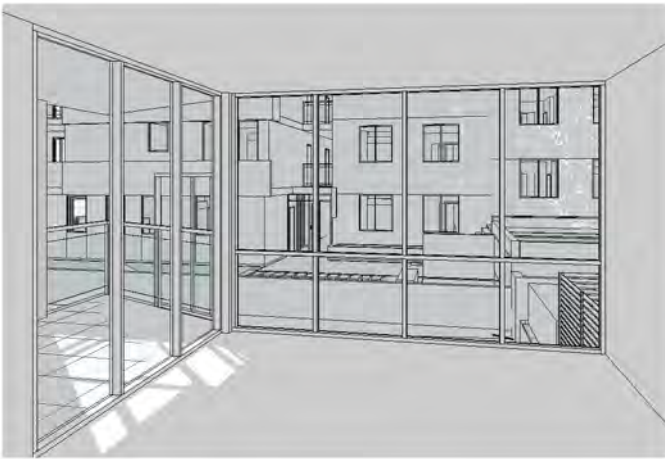
SHEET TITLE:
SOLAR STUDY

DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN

ISSUE:
F
SHEET :
DA-A607.7



Unit C04 @ 11 00am



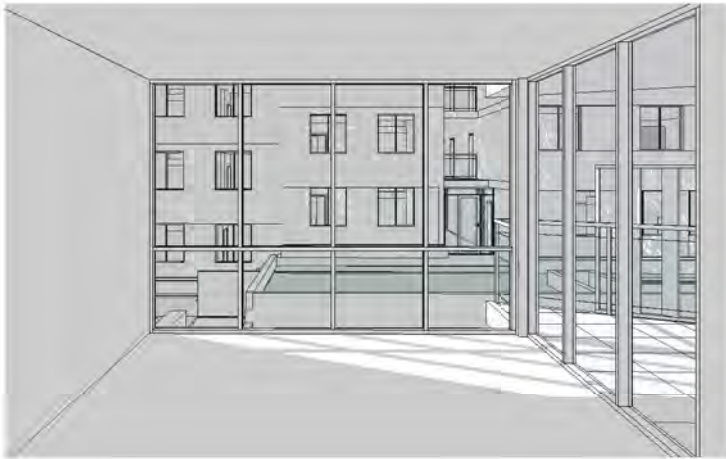
Unit C31 @ 10 30am
PREVIOUSLY KNOWN AS UNIT C35



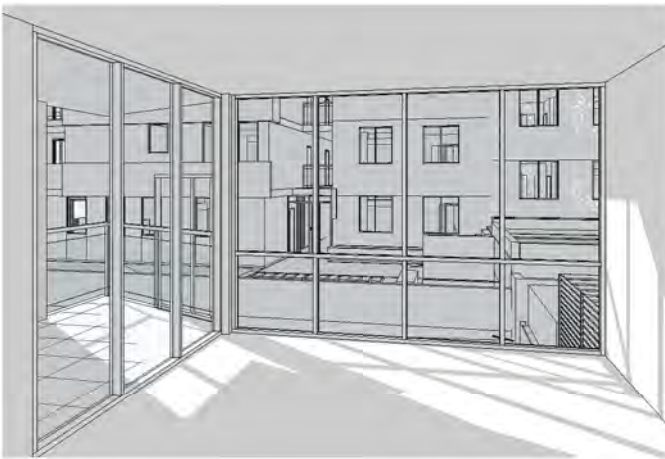
Unit C05 @ 11 50am



Unit C35 @ 10 30am
PREVIOUSLY KNOWN AS UNIT C39



Unit C04 @ 12 00pm



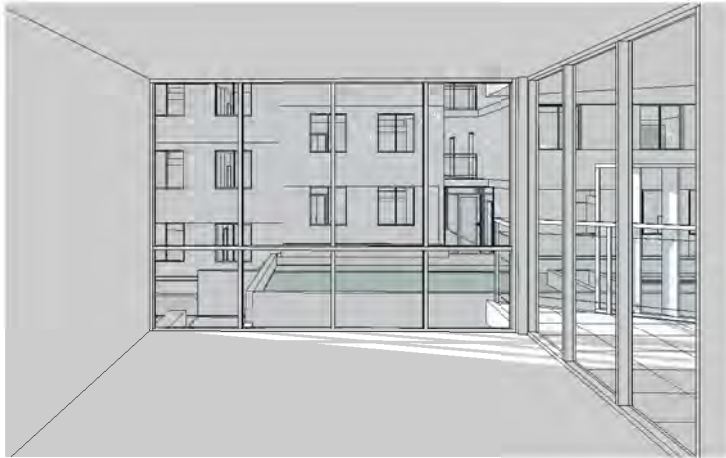
Unit C31 @ 11 30am
PREVIOUSLY KNOWN AS UNIT C35



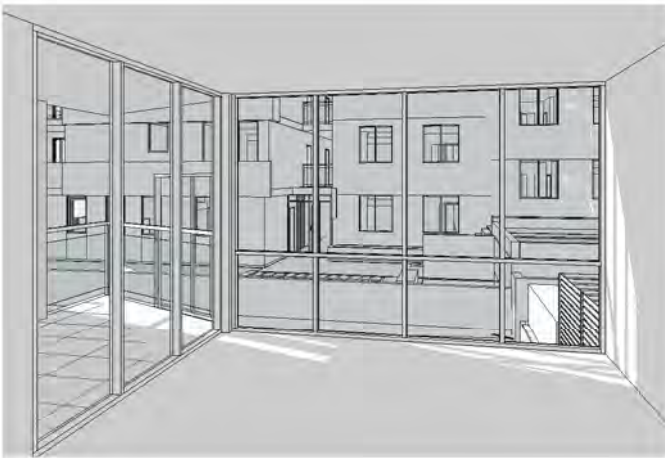
Unit C05 @ 12 50pm



Unit C35 @ 11 30am
PREVIOUSLY KNOWN AS UNIT C39



Unit C04 @ 1 00pm



Unit C31 @ 12 30pm
PREVIOUSLY KNOWN AS UNIT C35



Unit C05 @ 1 50pm



Unit C35 @ 12 30am
PREVIOUSLY KNOWN AS UNIT C39

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE IS 1684 - 1996.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLAN DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.



PROJECT STATUS:
DEVELOPMENT APPLICATION

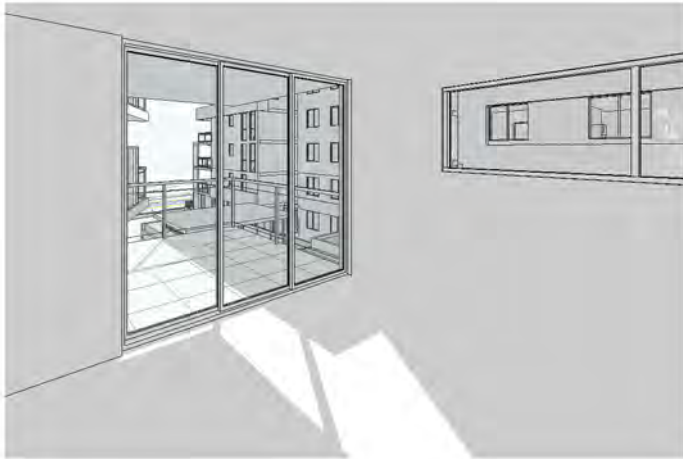
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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
59 CUDGEGONG ROAD, ROUSE HILL, NSW 2155(SITE - 2)
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
SOLAR STUDY

DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: AS SHOWN

ISSUE:
F
SHEET :
DA-A607.8



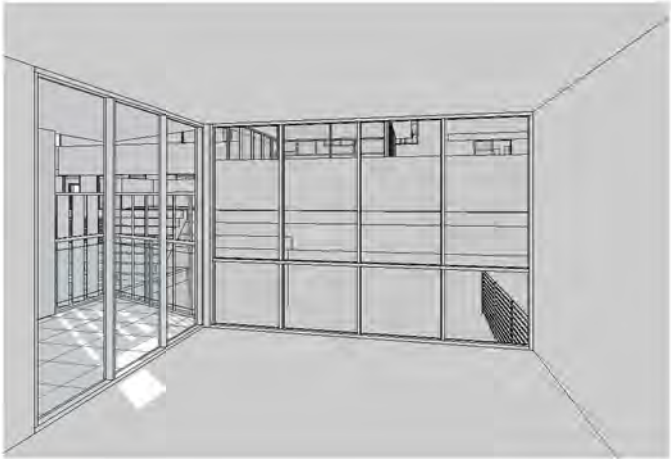
Unit B09 @ 11 30am



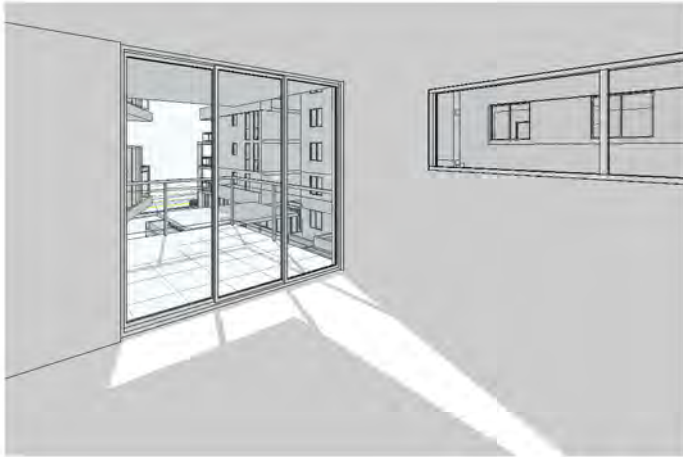
Unit D04 @ 11 30am



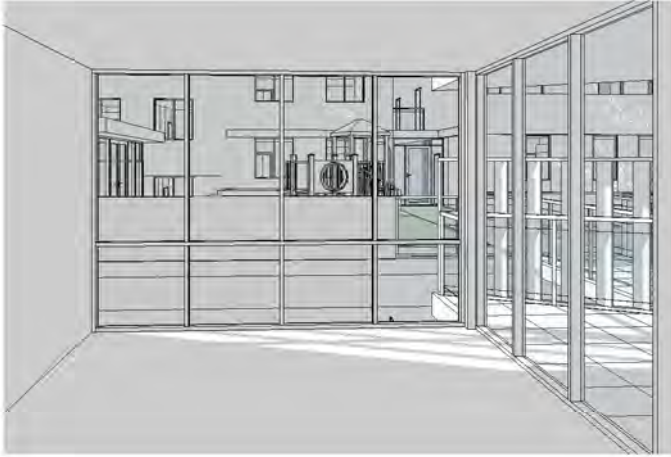
Unit D09 @ 11 30am



Unit D34 @ 10 30am
PREVIOUSLY KNOWN AS UNIT D35



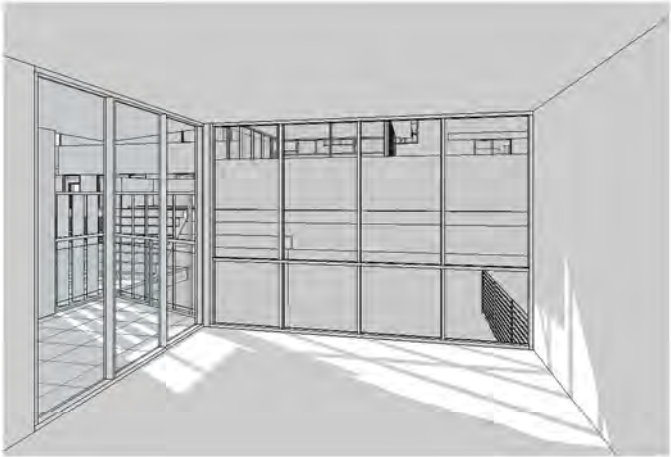
Unit B09 @ 12 30pm



Unit D04 @ 12 30am



Unit D09 @ 12 30pm



Unit D34 @ 11 30am
PREVIOUSLY KNOWN AS UNIT D35



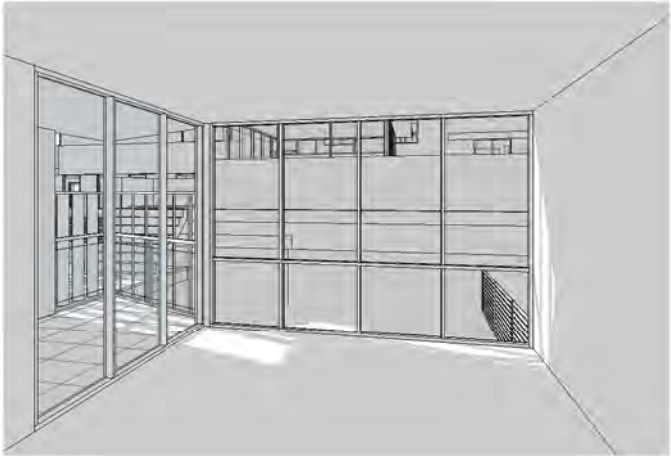
Unit B09 @ 1 30pm



Unit D04 @ 1 30pm

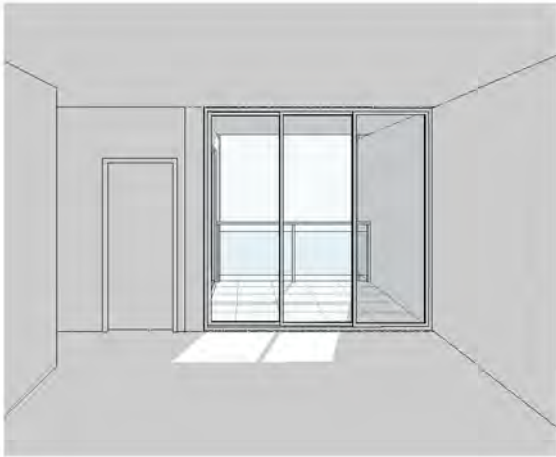


Unit D09 @ 1 30pm

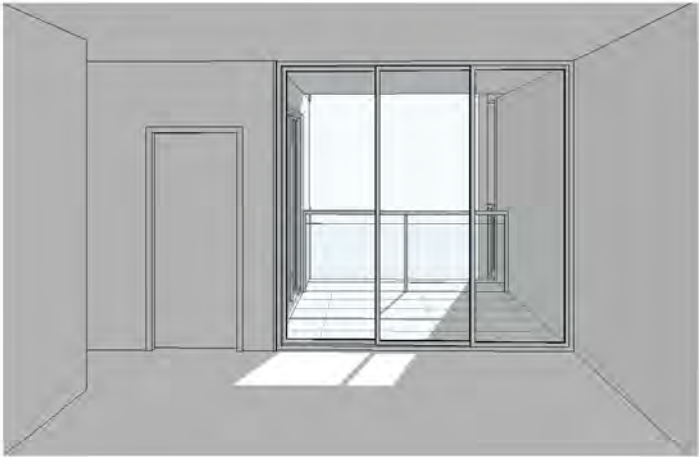


Unit D34 @ 12 30pm
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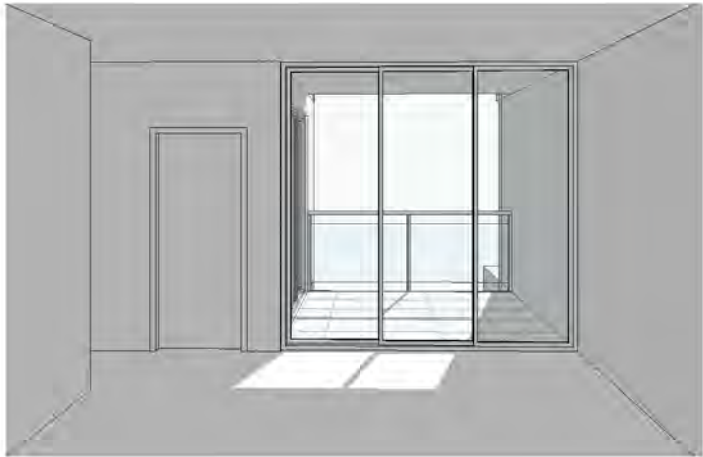
ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review



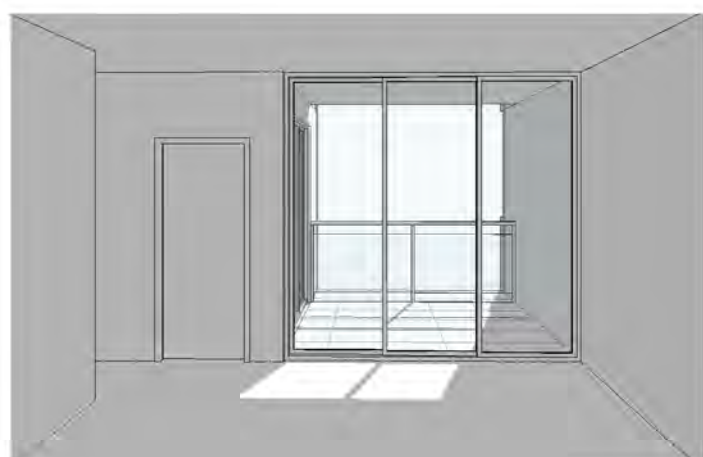
Unit A53 @ 1 00pm



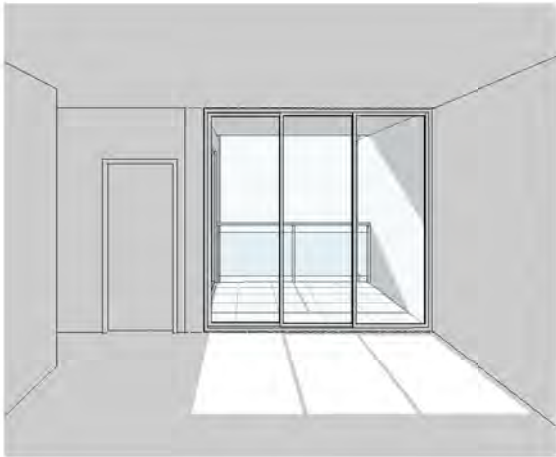
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PREVIOUSLY KNOWN AS UNIT D37



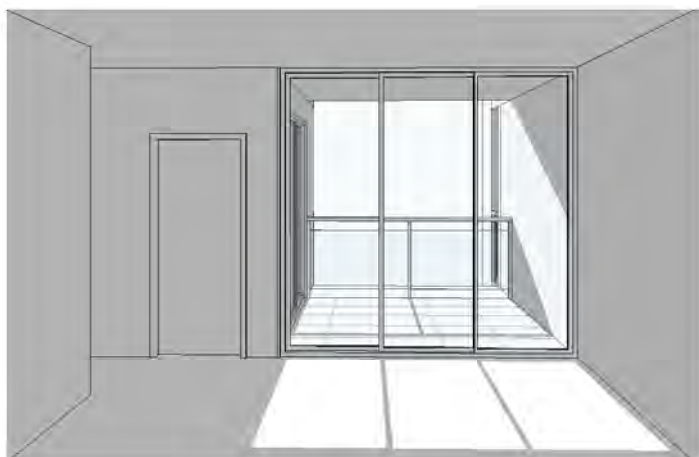
Unit D44 @ 1 00pm
PREVIOUSLY KNOWN AS UNIT D45



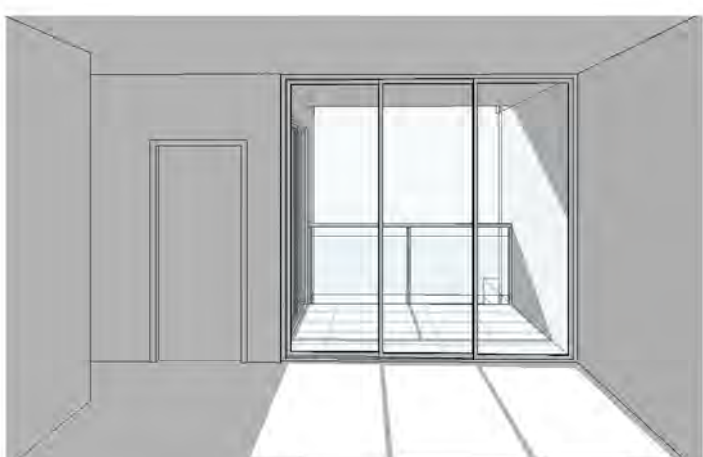
Unit D52 @ 1 00pm
PREVIOUSLY KNOWN AS UNIT D53



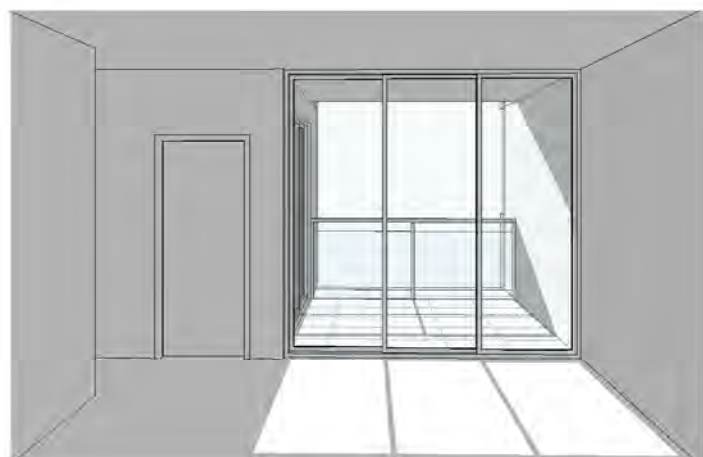
Unit A53 @ 2 00pm



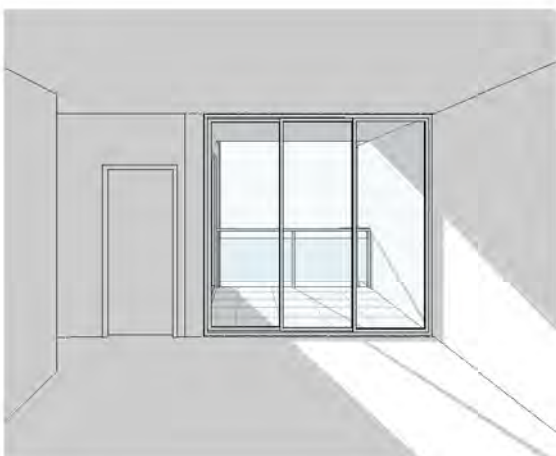
Unit D36 @ 2 00pm
PREVIOUSLY KNOWN AS UNIT D37



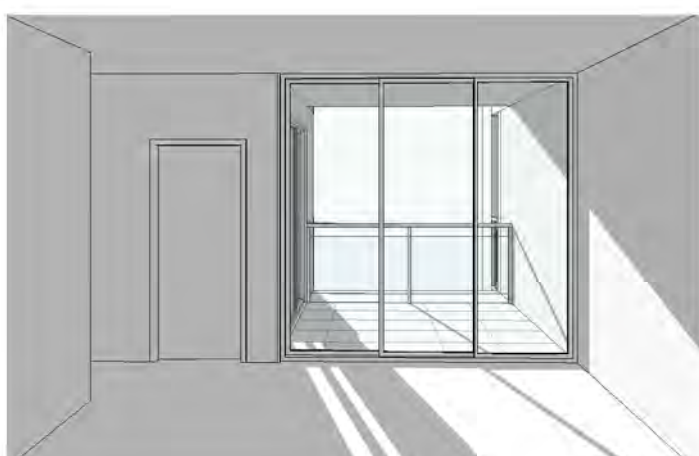
Unit D44 @ 2 00pm
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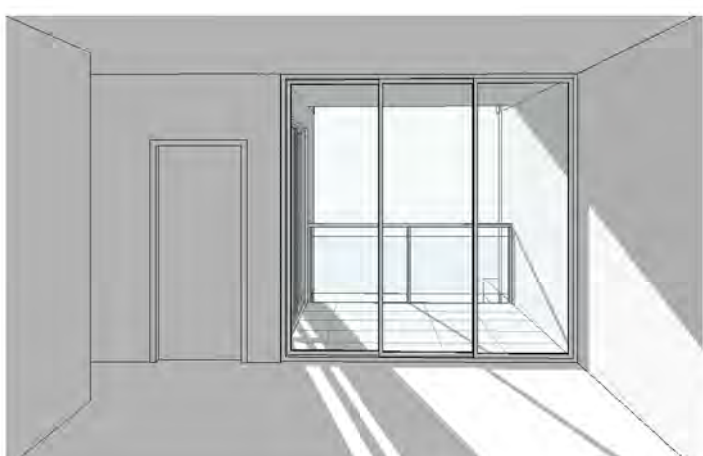
Unit D52 @ 2 00pm
PREVIOUSLY KNOWN AS UNIT D53



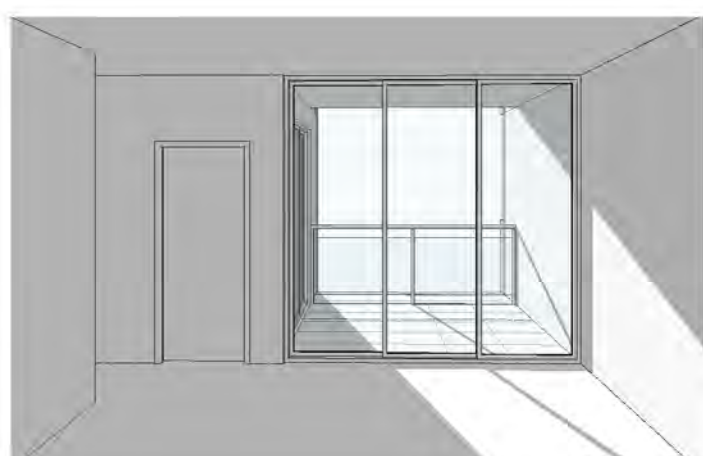
Unit A53 @ 3 00pm



Unit D36 @ 3 00pm
PREVIOUSLY KNOWN AS UNIT D37



Unit D44 @ 3 00pm
PREVIOUSLY KNOWN AS UNIT D45



Unit D52 @ 3 00pm
PREVIOUSLY KNOWN AS UNIT D53

F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review
ISSUE	DATE	AMENDMENT



Unit B17 @ 10 30am



Unit B20 @ 10 30am
PREVIOUSLY KNOWN AS UNIT B21



Unit B23 @ 10 30am
PREVIOUSLY KNOWN AS UNIT B25



Unit B26 @ 10 30am
PREVIOUSLY KNOWN AS UNIT B29



Unit B17 @ 11 30am



Unit B20 @ 11 30am
PREVIOUSLY KNOWN AS UNIT B21



Unit B23 @ 11 30am
PREVIOUSLY KNOWN AS UNIT B25



Unit B26 @ 11 30am
PREVIOUSLY KNOWN AS UNIT B29



Unit B17 @ 12 30pm



Unit B20 @ 12 30pm
PREVIOUSLY KNOWN AS UNIT B21



Unit B23 @ 12 30pm
PREVIOUSLY KNOWN AS UNIT B25



Unit B26 @ 12 30pm
PREVIOUSLY KNOWN AS UNIT B29

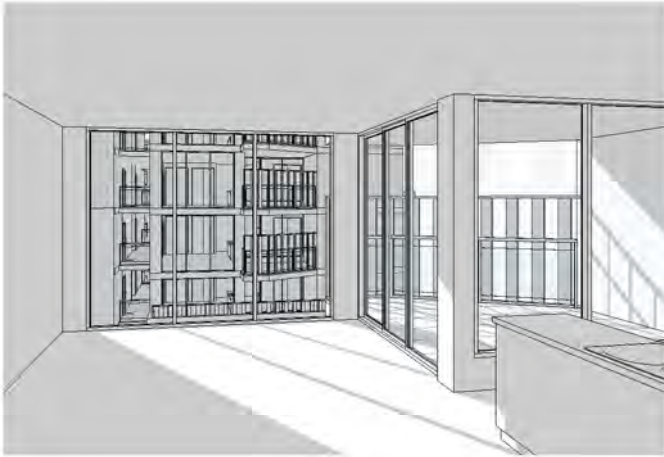
ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review



Unit C17 @ 10 30am



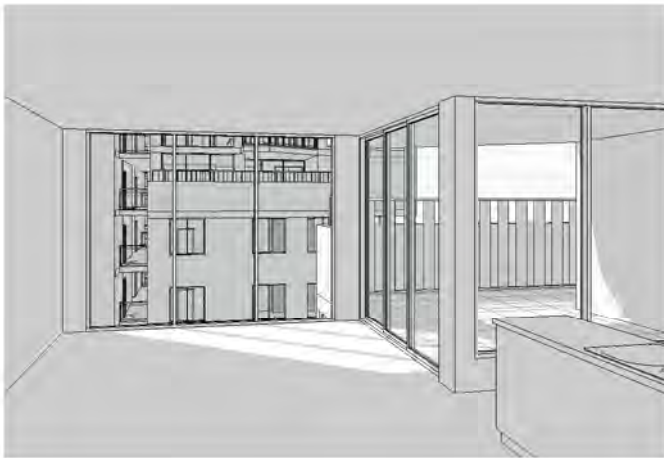
Unit C20 @ 10 20am
PREVIOUSLY KNOWN AS UNIT C21



Unit C23 @ 10 00am
PREVIOUSLY KNOWN AS UNIT C25



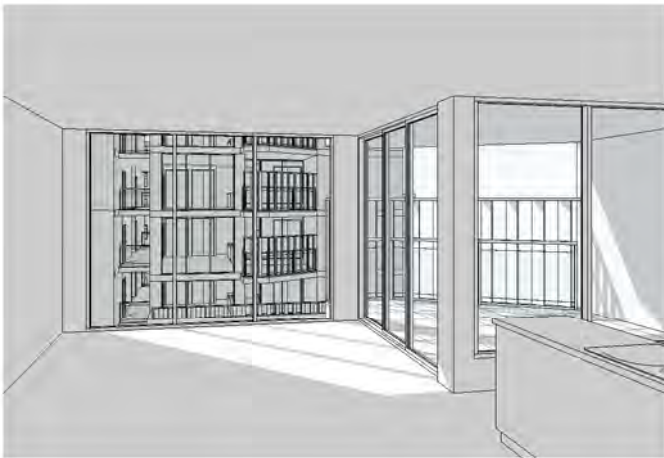
Unit C26 @ 9 00am
PREVIOUSLY KNOWN AS UNIT C29



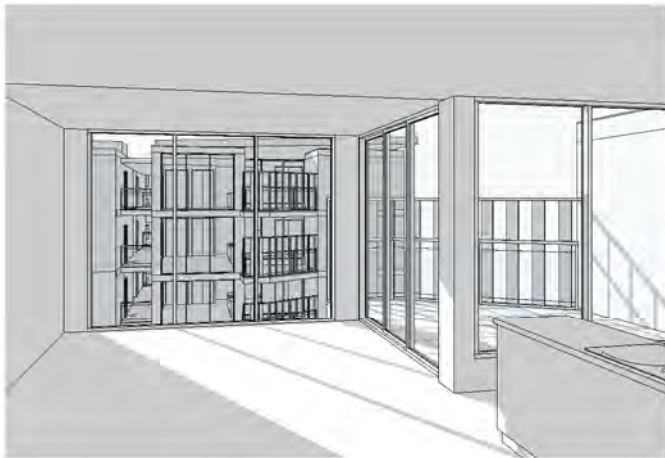
Unit C17 @ 11 30am



Unit C20 @ 11 20am
PREVIOUSLY KNOWN AS UNIT C21



Unit C23 @ 11 00am
PREVIOUSLY KNOWN AS UNIT C25



Unit C26 @ 10 00am
PREVIOUSLY KNOWN AS UNIT C29



Unit C17 @ 12 30pm



Unit C20 @ 12 20pm
PREVIOUSLY KNOWN AS UNIT C21

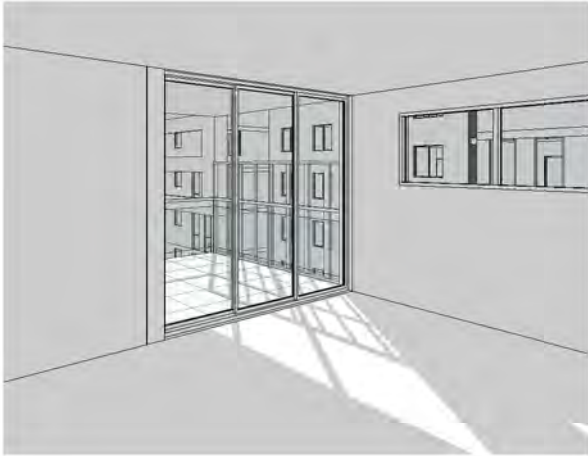


Unit C23 @ 12 00pm
PREVIOUSLY KNOWN AS UNIT C25

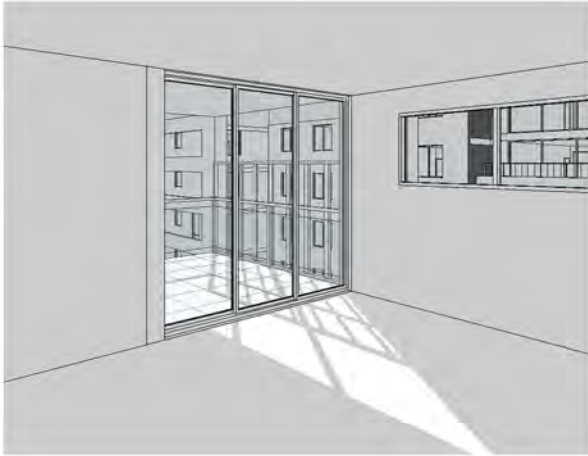


Unit C26 @ 11 00am
PREVIOUSLY KNOWN AS UNIT C29

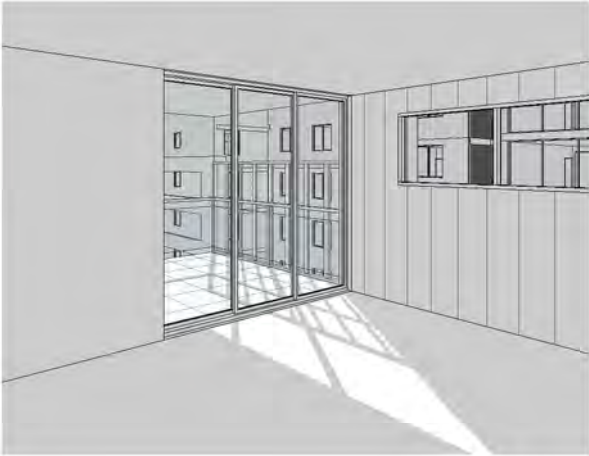
ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review



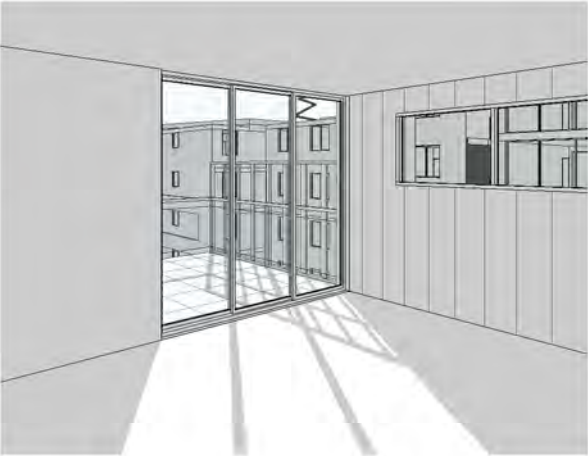
Unit D17 @ 11 30 am



Unit D21 @ 11 30 am



Unit D25 @ 11 30 am



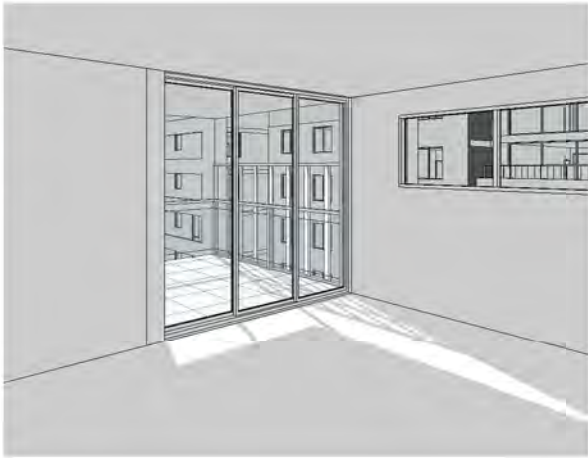
Unit D29 @ 11 30 am



Unit D38 @ 10 30am
PREVIOUSLY KNOWN AS UNIT D39



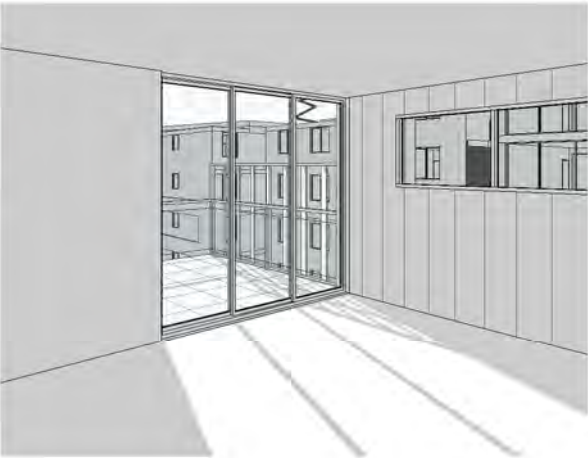
Unit D17 @ 12 30 pm



Unit D21 @ 12 30 pm



Unit D25 @ 12 30 pm



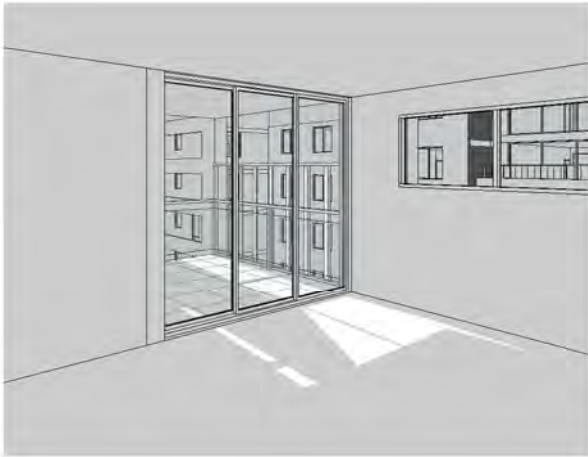
Unit D29 @ 12 30 pm



Unit D38 @ 11 30am
PREVIOUSLY KNOWN AS UNIT D39



Unit D17 @ 1 30 pm



Unit D21 @ 1 30 pm



Unit D25 @ 1 30 pm



Unit D29 @ 1 30 pm



Unit D38 @ 12 30pm
PREVIOUSLY KNOWN AS UNIT D39

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

ADG COMPLIANCE TABLE

BUILDING A

UNIT NUMBER	NO.OF BED	UNIT AREA (m ²)	BALCONY AREA (m ²)	SOLAR ACCESS	CROSS VENTILATIO N	STORAGE UNIT (m ³)	STORAGE BASEMENT (m ³)	STORAGE TOTAL (m ³)
A01	2 Bed	76.00	22.51	Yes	Yes	2.75	9.60	12.35
A02	3 Bed	105.40	48.90	No	Yes	8.66	8.30	16.96
A03	3 Bed	105.40	48.90	No	Yes	8.66	8.30	16.96
A04	2 Bed	82.74	10.10	Yes	Yes	11.40	9.60	21.00
A05	2 Bed	77.98	11.50	Yes	Yes	5.20	6.30	11.50
A06	1 Bed	60.30	11.60	No	No	5.83	4.30	10.13
A07	2 Bed	77.98	11.50	No	Yes	5.20	6.30	11.50
A08	2 Bed	82.74	10.10	Yes	Yes	11.40	9.60	21.00
A09	2 Bed	77.98	11.50	Yes	Yes	5.20	5.80	11.00
A10	1 Bed	60.30	20.70	No	No	5.83	4.30	10.13
A11	2 Bed	77.98	11.50	No	Yes	5.20	5.10	10.30
A12	2 Bed	82.74	10.10	Yes	Yes	11.40	9.60	21.00
A13	2 Bed	77.98	11.50	Yes	Yes	5.20	5.80	11.00
A14	1 Bed	60.30	11.50	No	No	5.83	4.30	10.13
A15	2 Bed	77.98	11.50	No	Yes	5.20	5.80	11.00
A16	2 Bed	82.74	10.10	Yes	Yes	11.40	9.60	21.00
A17	2 Bed	77.98	11.50	Yes	Yes	5.20	5.80	11.00
A18	1 Bed	60.30	11.50	No	No	5.83	4.30	10.13
A19	2 Bed	77.98	11.50	No	Yes	5.20	5.80	11.00
A20	2 Bed	82.74	10.10	Yes	Yes	11.40	9.60	21.00
A21	2 Bed	77.98	11.50	Yes	Yes	5.20	5.80	11.00
A22	1 Bed	60.30	11.50	No	No	5.83	4.30	10.13
A23	2 Bed	77.98	11.50	No	Yes	5.20	5.80	11.00
A24	2 Bed	82.74	10.10	Yes	Yes	11.40	9.60	21.00
A25	2 Bed	77.98	11.50	Yes	Yes	5.20	5.80	11.00
A26	1 Bed	60.30	11.50	No	No	5.83	4.30	10.13
A27	2 Bed	77.98	11.50	No	Yes	5.20	8.30	13.50
A28	2 Bed	82.74	10.10	Yes	Yes	11.40	8.40	19.80
A29	2 Bed	77.98	11.50	Yes	Yes	5.20	8.30	13.50
A30	1 Bed	60.30	11.50	No	No	5.83	4.30	10.13
A31	2 Bed	77.98	11.50	No	Yes	5.20	8.30	13.50
A32	2 Bed	76.00	22.51	Yes	Yes	2.75	8.40	11.15
A33	3 Bed	105.40	48.90	Yes	Yes	8.66	8.30	16.96
A34	3 Bed	105.40	48.90	Yes	Yes	8.66	8.30	16.96
A35	2 Bed	82.74	10.10	Yes	Yes	11.40	8.40	19.80
A36	2 Bed	77.98	23.20	Yes	Yes	4.40	8.30	12.70
A37	1 Bed	60.30	8.60	Yes	No	5.83	4.30	10.13
A38	2 Bed	77.98	23.20	Yes	Yes	5.83	8.30	14.13
A39	2 Bed	82.74	10.10	Yes	Yes	11.40	8.40	19.80
A40	2 Bed	77.98	23.20	Yes	Yes	4.40	8.30	12.70
A41	1 Bed	60.30	8.60	Yes	No	5.83	4.30	10.13
A42	2 Bed	77.98	23.20	Yes	Yes	4.40	8.30	12.70
A43	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
A44	2 Bed	77.98	11.50	Yes	Yes	4.40	8.30	12.70
A45	1 Bed	60.30	8.60	Yes	No	5.83	4.30	10.13
A46	2 Bed	77.98	11.50	Yes	Yes	4.40	10.80	15.20
A47	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
A48	2 Bed	77.98	11.50	Yes	Yes	4.40	9.90	14.30
A49	1 Bed	60.30	8.60	Yes	No	5.83	4.30	10.13
A50	2 Bed	77.98	11.50	Yes	Yes	4.40	9.90	14.30
A51	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
A52	2 Bed	77.98	11.50	Yes	Yes	4.40	9.90	14.30
A53	1 Bed	60.30	8.60	Yes	No	5.83	4.30	10.13
A54	2 Bed	77.98	11.50	Yes	Yes	4.40	9.90	14.30
A55	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
A56	2 Bed	77.98	11.50	Yes	Yes	4.40	9.90	14.30
A57	1 Bed	60.30	8.60	Yes	No	5.83	4.30	10.13
A58	2 Bed	77.98	11.50	Yes	Yes	4.40	9.90	14.30
A59	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
A60	2 Bed	77.98	11.50	Yes	Yes	4.40	9.90	14.30
A61	1 Bed	60.30	8.60	Yes	No	5.83	4.30	10.13
A62	2 Bed	77.98	11.50	Yes	Yes	4.40	9.90	14.30

TOTAL NUMBER OF UNITS: 62.0

BUILDING B

UNIT NUMBER	NO.OF BED	UNIT AREA (m ²)	BALCONY AREA (m ²)	SOLAR ACCESS	CROSS VENTILATI ON	STORAGE UNIT (m ³)	STORAGE BASEMENT (m ³)	STORAGE TOTAL (m ³)
B01	2 Bed	76.00	28.45	No	Yes	2.75	10.40	13.15
B02	3 Bed	105.40	48.90	No	Yes	8.66	8.30	16.96
B03	3 Bed	105.40	48.90	No	Yes	8.66	8.30	16.96
B04	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B05	2 Bed	76.10	10.20	Yes	Yes	4.13	9.70	13.83
B06	2 Bed	83.70	15.30	No	No	13.80	6.00	19.80
B07	2 Bed	77.98	23.30	No	Yes	5.20	9.90	15.10
B08	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B09	2 Bed	76.10	10.20	Yes	Yes	4.13	9.70	13.83
B10	2 Bed	83.70	15.30	No	No	13.80	6.00	19.80
B11	2 Bed	77.98	23.30	No	Yes	5.20	9.90	15.10
B12	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B13	2 Bed	76.10	10.20	Yes	Yes	4.13	9.70	13.83
B14	2 Bed	83.70	15.30	No	No	13.80	6.00	19.80
B15	2 Bed	77.98	11.50	No	Yes	5.20	9.90	15.10
B16	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B17	3 Bed	106.20	15.00	Yes	Yes	7.45	9.70	17.15
B18	3 Bed	106.20	15.00	No	Yes	7.45	6.00	13.45
B19	2 Bed	77.98	11.50	No	Yes	5.20	9.90	15.10
B20	3 Bed	106.20	15.00	Yes	Yes	7.45	10.40	17.85
B21	3 Bed	106.20	15.00	No	Yes	7.45	9.70	17.15
B22	2 Bed	83.70	15.30	No	Yes	13.80	6.00	19.80
B23	3 Bed	106.20	15.00	Yes	Yes	7.45	9.90	17.35
B24	3 Bed	106.20	15.00	No	Yes	7.45	10.40	17.85
B25	2 Bed	76.10	10.20	Yes	Yes	4.13	9.70	13.83
B26	3 Bed	106.20	15.00	Yes	Yes	7.45	6.00	13.45
B27	3 Bed	106.20	15.00	No	Yes	7.45	9.90	17.35
B28	2 Bed	76.00	28.45	No	Yes	2.75	10.40	13.15
B29	3 Bed	106.20	15.00	Yes	Yes	7.45	8.30	15.75
B30	3 Bed	106.20	15.00	No	Yes	7.45	8.30	15.75
B31	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B32	2 Bed	72.80	23.20	Yes	Yes	4.05	9.70	13.75
B33	2 Bed	83.70	15.30	Yes	No	13.80	6.00	19.80
B34	2 Bed	77.98	22.30	Yes	Yes	4.40	8.90	13.30
B35	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B36	2 Bed	72.80	23.20	Yes	Yes	4.05	9.70	13.75
B37	2 Bed	83.70	15.30	Yes	No	13.80	6.00	19.80
B38	2 Bed	77.98	22.30	Yes	Yes	4.40	8.90	13.30
B39	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B40	2 Bed	72.80	11.50	Yes	Yes	4.05	8.90	12.95
B41	2 Bed	83.70	15.30	Yes	No	13.80	6.00	19.80
B42	2 Bed	77.98	11.50	Yes	Yes	4.40	5.30	9.70
B43	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B44	2 Bed	72.80	11.50	Yes	Yes	4.05	5.30	9.35
B45	2 Bed	83.70	15.30	Yes	No	13.80	7.10	20.90
B46	2 Bed	77.98	11.50	Yes	Yes	4.40	5.30	9.70
B47	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B48	2 Bed	72.80	11.50	Yes	Yes	4.05	5.30	9.35
B49	2 Bed	83.70	15.30	Yes	No	13.80	5.50	19.30
B50	2 Bed	77.98	11.50	Yes	Yes	4.40	5.30	9.70
B51	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B52	2 Bed	72.80	11.50	Yes	Yes	4.05	5.30	9.35
B53	2 Bed	83.70	15.30	Yes	No	13.80	5.80	19.60
B54	2 Bed	77.98	11.50	Yes	Yes	4.40	5.30	9.70
B55	2 Bed	82.74	10.10	Yes	Yes	11.40	10.40	21.80
B56	2 Bed	72.80	11.50	Yes	Yes	4.05	5.30	9.35
B57	2 Bed	83.70	15.30	Yes	No	13.80	5.40	19.20
B58	2 Bed	77.98	11.50	Yes	Yes	4.40	5.30	9.70

TOTAL NUMBER OF UNITS: 58.0

F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review
ISSUE	DATE	AMENDMENT



PROJECT STATUS:

DEVELOPMENT APPLICATION

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PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155(SITE - 2)

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

UNIT SCHEDULES

DESIGN:
NS

DRAWN:
JIRP

DATE:
JUNE 2016

SCALE:
AS SHOWN

ISSUE:

F

SHEET :

DA-A800

ADG COMPLIANCE TABLE

BUILDING C

UNIT NUMBER	NO.OF BED	UNIT AREA (m ²)	BALCONY AREA (m ²)	SOLAR ACCESS	CROSS VENTILATI ON	STORAGE UNIT (m ³)	STORAGE BASEMENT (m ³)	STORAGE TOTAL (m ³)
C01	2 Bed	76.00	20.27	No	Yes	2.75	6.00	8.75
C02	3 Bed	105.40	48.90	No	Yes	8.66	8.20	16.86
C03	3 Bed	105.40	48.90	No	Yes	8.66	8.20	16.86
C04	2 Bed	82.74	10.10	Yes	Yes	11.40	6.00	17.40
C05	2 Bed	76.10	10.20	Yes	Yes	4.13	8.60	12.73
C06	2 Bed	83.70	24.30	No	No	13.80	5.80	19.60
C07	2 Bed	77.98	23.30	No	Yes	5.20	8.60	13.80
C08	2 Bed	82.74	10.10	Yes	Yes	11.40	8.20	19.60
C09	2 Bed	76.10	10.20	Yes	Yes	4.13	8.60	12.73
C10	2 Bed	83.70	24.30	No	No	13.80	5.80	19.60
C11	2 Bed	77.98	20.50	No	Yes	5.20	8.60	13.80
C12	2 Bed	82.74	10.10	Yes	Yes	11.40	8.20	19.60
C13	2 Bed	76.10	10.20	Yes	Yes	4.13	8.60	12.73
C14	2 Bed	83.70	15.30	No	No	13.80	5.90	19.70
C15	2 Bed	77.98	11.50	No	Yes	5.20	8.60	13.80
C16	2 Bed	82.74	10.50	Yes	Yes	11.40	8.20	19.60
C17	3 Bed	106.20	15.00	Yes	Yes	7.45	8.60	16.05
C18	3 Bed	106.20	15.00	No	Yes	7.45	5.50	12.95
C19	2 Bed	77.98	11.50	No	Yes	5.20	6.40	11.60
C20	3 Bed	106.20	15.00	Yes	Yes	7.45	8.20	15.65
C21	3 Bed	106.20	15.00	No	Yes	7.45	6.40	13.85
C22	2 Bed	83.70	15.30	No	Yes	13.80	5.50	19.30
C23	3 Bed	106.20	15.00	Yes	Yes	7.45	6.40	13.85
C24	3 Bed	106.20	15.00	No	Yes	7.45	5.50	12.95
C25	2 Bed	76.10	10.20	Yes	Yes	4.13	6.40	10.53
C26	3 Bed	106.20	15.00	Yes	Yes	7.45	5.50	12.95
C27	3 Bed	106.20	15.00	No	Yes	7.45	6.40	13.85
C28	2 Bed	76.00	20.27	No	Yes	2.75	6.00	8.75
C29	3 Bed	106.20	15.00	Yes	Yes	7.45	8.20	15.65
C30	3 Bed	106.20	15.00	No	Yes	7.45	8.20	15.65
C31	2 Bed	82.74	10.10	Yes	Yes	11.40	8.20	19.60
C32	2 Bed	72.80	11.50	Yes	Yes	4.05	5.50	9.55
C33	2 Bed	83.70	15.30	Yes	No	13.80	5.50	19.30
C34	2 Bed	77.98	22.30	Yes	Yes	4.40	5.50	9.90
C35	2 Bed	82.74	10.10	Yes	Yes	11.40	8.20	19.60
C36	2 Bed	72.80	11.50	Yes	Yes	4.05	5.50	9.55
C37	2 Bed	83.70	15.30	Yes	No	13.80	5.50	19.30
C38	2 Bed	77.98	22.30	Yes	Yes	4.40	5.50	9.90
C39	2 Bed	82.74	10.10	Yes	Yes	11.40	7.20	18.60
C40	2 Bed	72.80	11.50	Yes	Yes	4.05	5.50	9.55
C41	2 Bed	83.70	15.30	Yes	No	13.80	5.50	19.30
C42	2 Bed	77.98	11.50	Yes	Yes	4.40	5.50	9.90
C43	2 Bed	82.74	10.10	Yes	Yes	11.40	7.20	18.60
C44	2 Bed	72.80	11.50	Yes	Yes	4.05	7.90	11.95
C45	2 Bed	83.70	15.30	Yes	No	13.80	5.50	19.30
C46	2 Bed	77.98	11.50	Yes	Yes	4.40	7.90	12.30
C47	2 Bed	82.74	10.10	Yes	Yes	11.40	7.20	18.60
C48	2 Bed	72.80	11.50	Yes	Yes	4.05	7.90	11.95
C49	2 Bed	83.70	15.30	Yes	No	13.80	5.50	19.30
C50	2 Bed	77.98	11.50	Yes	Yes	4.40	7.90	12.30
C51	2 Bed	82.74	10.10	Yes	Yes	11.40	7.20	18.60
C52	2 Bed	72.80	11.50	Yes	Yes	4.05	7.90	11.95
C53	2 Bed	83.70	15.30	Yes	No	13.80	5.50	19.30
C54	2 Bed	77.98	11.50	Yes	Yes	4.40	7.90	12.30
C55	2 Bed	82.74	10.10	Yes	Yes	11.40	7.20	18.60
C56	2 Bed	72.80	11.50	Yes	Yes	4.05	7.90	11.95
C57	2 Bed	83.70	15.30	Yes	No	13.80	6.20	20.00
C58	2 Bed	77.98	11.50	Yes	Yes	4.40	7.90	12.30

TOTAL NUMBER OF UNITS: 58.0

BUILDING D

UNIT NUMBER	NO.OF BED	UNIT AREA (m ²)	BALCONY AREA (m ²)	SOLAR ACCESS	CROSS VENTILATI ON	STORAGE UNIT (m ³)	STORAGE BASEMENT (m ³)	STORAGE TOTAL (m ³)
D01	3 Bed	108.70	28.66	No	Yes	5.20	7.20	12.40
D02	3 Bed	105.40	48.90	No	Yes	8.66	8.20	16.86
D03	3 Bed	105.40	48.90	No	Yes	8.66	8.20	16.86
D04	2 Bed	82.74	10.10	Yes	Yes	11.40	7.20	18.60
D05	2 Bed	76.10	10.20	Yes	Yes	4.13	7.90	12.03
D06	1 Bed	60.30	11.60	No	No	5.83	5.10	10.93
D07	2 Bed	77.98	24.70	No	Yes	5.20	7.90	13.10
D08	2 Bed	82.74	10.10	Yes	Yes	11.40	6.70	18.10
D09	2 Bed	76.10	10.20	Yes	Yes	4.13	7.90	12.03
D10	1 Bed	60.30	11.60	No	No	5.83	4.80	10.63
D11	2 Bed	77.98	24.70	No	Yes	5.20	7.90	13.10
D12	2 Bed	82.74	10.10	Yes	Yes	11.40	6.70	18.10
D13	2 Bed	76.10	10.20	Yes	Yes	4.13	9.70	13.83
D14	1 Bed	60.30	11.60	No	No	5.83	4.80	10.63
D15	2 Bed	77.98	11.50	No	Yes	5.20	5.70	10.90
D16	2 Bed	82.74	10.50	Yes	Yes	11.40	6.70	18.10
D17	2 Bed	76.10	10.20	Yes	Yes	4.13	5.70	9.83
D18	1 Bed	60.30	8.60	No	No	5.83	4.80	10.63
D19	2 Bed	77.98	11.50	No	Yes	5.20	5.70	10.90
D20	2 Bed	82.74	10.10	Yes	Yes	11.40	6.70	18.10
D21	2 Bed	76.10	10.20	Yes	Yes	4.13	5.70	9.83
D22	1 Bed	60.30	11.60	No	No	5.83	4.80	10.63
D23	2 Bed	77.98	11.50	No	Yes	5.20	5.70	10.90
D24	2 Bed	82.74	10.10	Yes	Yes	11.40	6.70	18.10
D25	2 Bed	76.10	10.20	Yes	Yes	4.13	5.70	9.83
D26	1 Bed	60.30	11.60	No	No	5.83	4.80	10.63
D27	2 Bed	77.98	11.50	No	Yes	5.20	5.70	10.90
D28	2 Bed	82.74	10.10	Yes	Yes	11.40	7.20	18.60
D29	2 Bed	76.10	10.20	Yes	Yes	4.13	5.70	9.83
D30	1 Bed	60.30	11.60	No	No	5.83	4.80	10.63
D31	2 Bed	77.98	11.50	No	Yes	5.20	5.70	10.90
D32	3 Bed	105.40	48.90	Yes	Yes	8.66	8.20	16.86
D33	3 Bed	105.40	48.90	Yes	Yes	8.66	8.20	16.86
D34	2 Bed	82.74	10.10	Yes	Yes	11.40	6.10	17.50
D35	2 Bed	72.80	22.30	Yes	Yes	4.40	5.70	10.10
D36	1 Bed	60.30	8.60	Yes	No	5.83	4.80	10.63
D37	2 Bed	77.98	24.70	Yes	Yes	5.83	5.70	11.53
D38	2 Bed	82.74	10.10	Yes	Yes	11.40	6.10	17.50
D39	2 Bed	72.80	22.30	Yes	Yes	4.40	5.70	10.10
D40	1 Bed	60.30	8.60	Yes	No	5.83	4.80	10.63
D41	2 Bed	77.98	24.70	Yes	Yes	4.40	5.70	10.10
D42	2 Bed	82.74	10.10	Yes	Yes	11.40	6.10	17.50
D43	2 Bed	72.80	11.50	Yes	Yes	4.40	5.70	10.10
D44	1 Bed	60.30	8.60	Yes	No	5.83	5.20	11.03
D45	2 Bed	77.98	11.50	Yes	Yes	4.40	5.50	9.90
D46	2 Bed	82.74	10.10	Yes	Yes	11.40	6.10	17.50
D47	2 Bed	72.80	11.50	Yes	Yes	4.40	5.50	9.90
D48	1 Bed	60.30	8.60	Yes	No	5.83	5.20	11.03
D49	2 Bed	77.98	11.50	Yes	Yes	4.40	5.50	9.90
D50	2 Bed	82.74	10.10	Yes	Yes	11.40	6.10	17.50
D51	2 Bed	72.80	11.50	Yes	Yes	4.40	5.50	9.90
D52	1 Bed	60.30	8.60	Yes	No	5.83	5.20	11.03
D53	2 Bed	77.98	11.50	Yes	Yes	4.40	5.50	9.90
D54	2 Bed	82.74	10.10	Yes	Yes	11.40	6.10	17.50
D55	2 Bed	72.80	11.50	Yes	Yes	4.40	5.50	9.90
D56	1 Bed	60.30	8.60	Yes	No	5.83	5.20	11.03
D57	2 Bed	77.98	11.50	Yes	Yes	4.40	5.50	9.90
D58	2 Bed	82.74	10.10	Yes	Yes	11.40	9.00	20.40
D59	2 Bed	72.80	11.50	Yes	Yes	4.40	5.50	9.90
D60	1 Bed	60.30	8.60	Yes	No	5.83	5.20	11.03
D61	2 Bed	77.98	11.50	Yes	Yes	4.40	5.50	9.90

TOTAL NUMBER OF UNITS: 61.0

F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review
ISSUE	DATE	AMENDMENT

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS NATA 1995.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.



PROJECT STATUS:

DEVELOPMENT APPLICATION

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PROJECT :

RESIDENTIAL DEVELOPMENT

SITE ADDRESS:

59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155(SITE - 2)

CLIENT:

The Wickwood Property Group Pty Ltd

SHEET TITLE:

UNIT SCHEDULES

DESIGN:
NS

DRAWN:
JIRP

DATE:
JUNE 2016

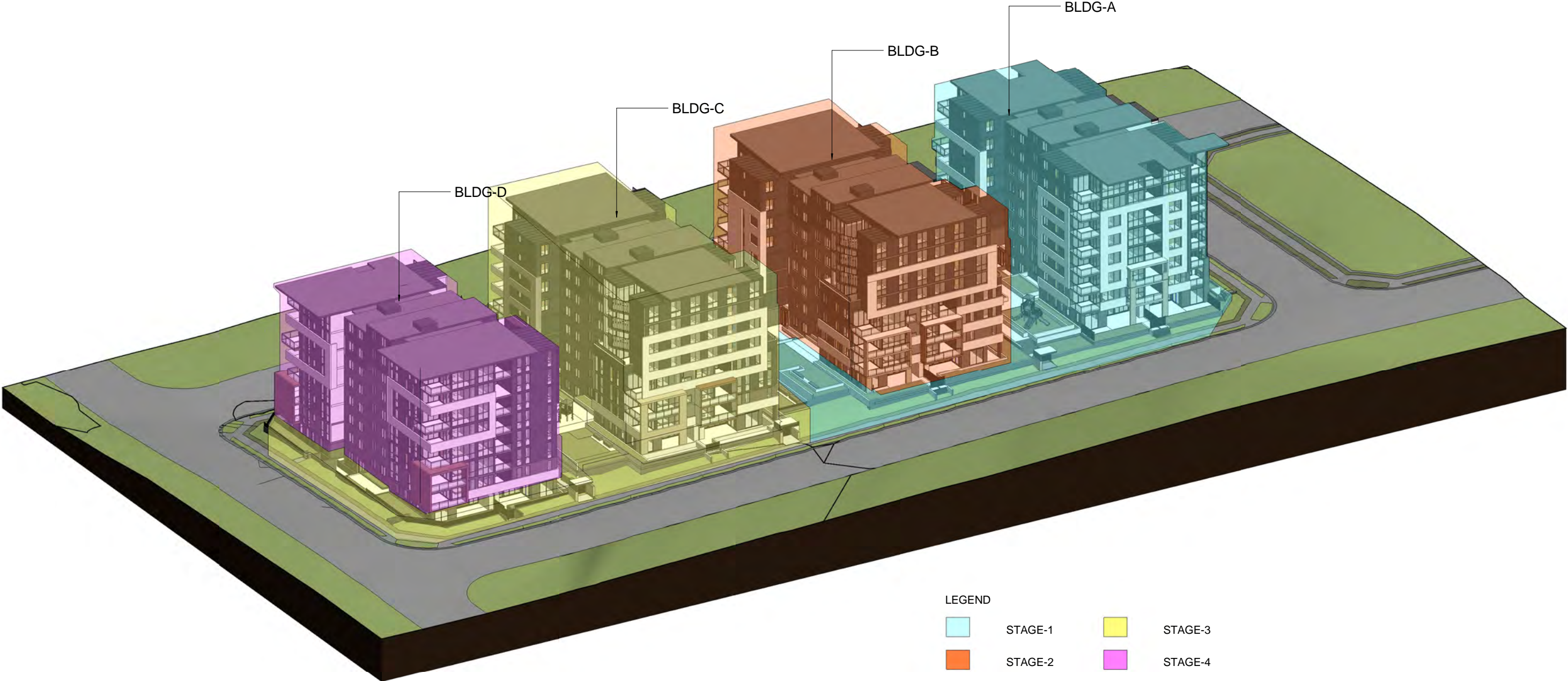
SCALE:
AS SHOWN

ISSUE:

F

SHEET :

DA-A801



STAGING PLANS

ISSUE	DATE	AMENDMENT
F	11-10-18	Issue for consultants review
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL DIMENSIONS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE IS 1614 - 1992.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.

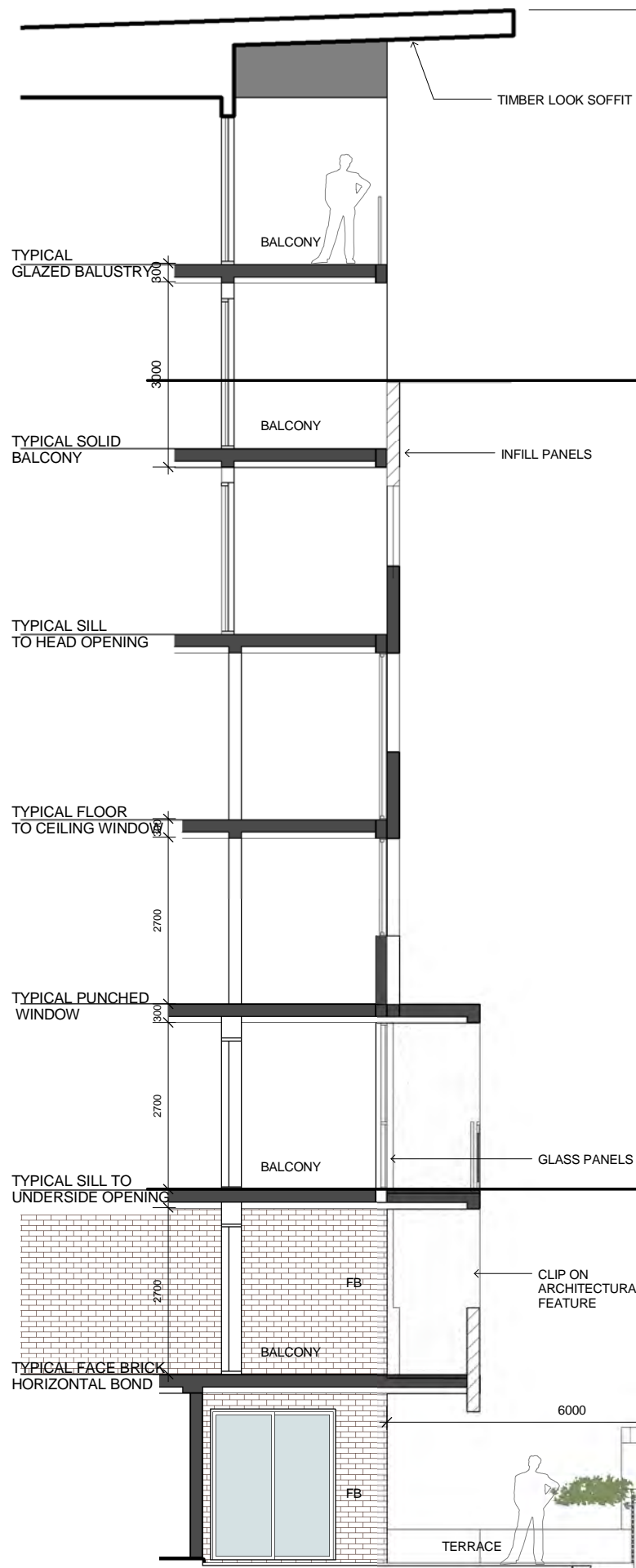


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DEVELOPMENT APPLICATION

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PROJECT :
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
59 CUDGEGONG ROAD, ROUSE HILL, NSW 2155(SITE - 2)
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:				ISSUE:
STAGING PLANS				F
DESIGN:	DRAWN:	DATE:	SCALE:	SHEET :
NS	AJRSA	JUNE 2016	AS SHOWN	DA-A900



LIGHT WEIGHT
CONSTRUCTIONS

COMPOSITE
CONSTRUCTIONS

MASONRY
CONSTRUCTIONS



3D FACADE IMAGES

FENCE DETAILS



FACADE DETAIL SECTION

1:50 @A1
1:100@A3

pens
Design Studio
ABN 47 814 248 580
noy santiago architect: 5968

ISSUE	DATE	AMENDMENT
E	05-03-18	Refer to notes as requested by council
D	15-12-17	Refer to notes as requested by council
C	06-10-17	DRAFT ISSUE- for consultants review
A	20-01-17	DRAFT ISSUE- for consultants review

CAD Plans
DESIGN Solutions
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PTV LTD
ABN 88 606 740 381

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 - 1996.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLAN DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED ISSUED FOR CONSTRUCTION.



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DEVELOPMENT APPLICATION
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PROJECT:
RESIDENTIAL DEVELOPMENT
SITE ADDRESS:
**59 CUDGEGONG ROAD, ROUSE HILL, NSW
2155(SITE - 2)**
CLIENT:
The Wickwood Property Group Pty Ltd

SHEET TITLE:
FACADE & FENCE DETAILS
DESIGN:
NS
DRAWN:
AJRSA
DATE:
JUNE 2016
SCALE:
AS SHOWN

ISSUE:
E
SHEET:
DA-A700

PROPOSED RESIDENTIAL APARTMENT BUILDINGS

LANDSCAPE DEVELOPMENT APPLICATION

SITE 2 - 59 CUDGEGONG ROAD ROUSE HILL

LOT 74 in DP 208203



1 SITE LOCALITY MAP
SOURCE GOOGLE MAPS 2018



2 SITE AERIAL PHOTOGRAPH

DRAWING	NUMBER	ISSUE	DATE	SCALE
LANDSCAPE COVER	LSDA	C	10/03/2018	NOT TO SCALE
LANDSCAPE SITE PLAN	LSDA-101	C	10/03/2018	1:500 @ A1 & 1:1000 @ A3
LANDSCAPE SITE ANALYSIS	LSDA-201	A	10/03/02018	1:200 @ A1 & 1:400 @ A3
LANDSCAPE CONCEPT PLAN	LSDA-301	C	10/03/02018	1:200 @ A1 & 1:400 @ A3
LANDSCAPE DETAILS PLANTING SCHEDULE	LSDA-501	A	10/03/02018	NOT APPLICABLE
LANDSCAPE DETAILS TYPICAL CONSTRUCTION	LSDA-502	A	10/03/02018	NOT TO SCALE

DRAWING NOTES

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- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
- THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS.
- THE LEVELS SHOWN ON THIS PLAN HAVE BEEN BASED ON SURVEY BY CEDAR SURVEYING, DATED APRIL 2012.

THIS DRAWING IS AN UNCONTROLLED COPY, UNLESS NOTED OTHERWISE.

REV	DESCRIPTION	DATE
C	FOR DEVELOPMENT APPLICATION	31/05/18
B	FOR DEVELOPMENT APPLICATION	30/03/18
A	FOR INFORMATION	19/03/18
REV	DESCRIPTION	DATE



PLANNER
PLANNING DIRECTION
Suite 10 241-243 Pennant Hills Road
Tel 02 9871 4988

ENGINEER
C&M CONSULTING ENGINEERS
Suite 26,11-13 Brookhollow Av Baulkham Hills NSW 2153
Tel 02 9680 3100

CLIENT
Wickwood Property Group
PO Box 9387 Harris Park NSW 2150
Mr Noell Haddad

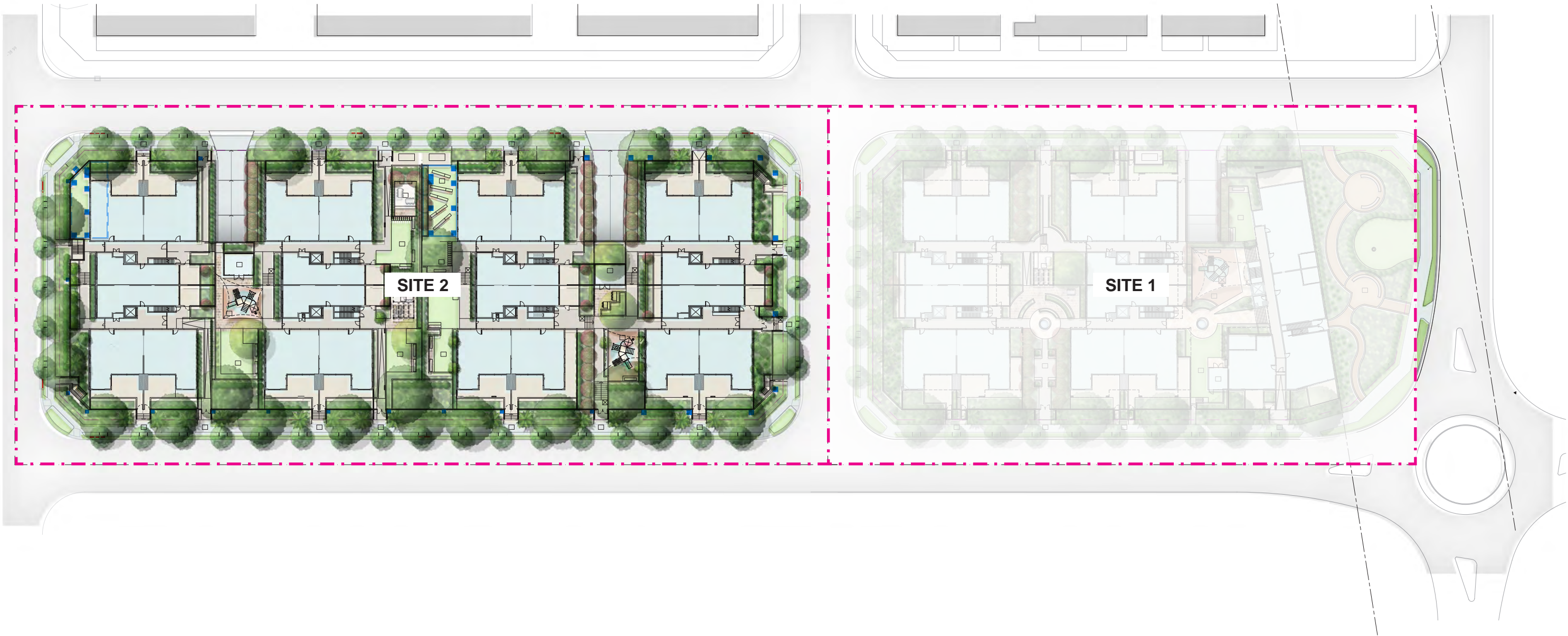
ARCHITECT
CAD Plans
39 Cumberland Road Auburn NSW 2144
Tel 02 8068 2177

PROJECT
**RESIDENTIAL APARTMENTS
SITE 2
59 CUDGEGONG RD ROUSE HILL**

DRAWING TITLE
LANDSCAPE COVER

SCALE STATUS DESIGNED/DRAWN VERIFIED DATE JOB NUMBER	NOT TO SCALE DEVELOPMENT APPLICATION HG/CD KS 10/03/2018 18708
DRAWING NUMBER LSDA-01	ISSUE C

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GPO Box 769, Mascot NSW 2020
P: 1800 464 207 M: 0407 061 386
E: landscape@greenplan.net.au
W: www.greenplan.net.au



greenplan
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DRAWING NOTES
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4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS.
5. THE LEVELS SHOWN ON THIS PLAN HAVE BEEN BASED ON SURVEY BY CEDAR SURVEYING, DATED APRIL 2012.

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C	FOR DEVELOPMENT APPLICATION	31/05/18	
B	FOR INFORMATION	30/03/18	
A	FOR INFORMATION	19/03/18	
REV	DESCRIPTION	DATE	



PLANNER
PLANNING DIRECTION
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CLIENT
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PO Box 9387 Harris Park NSW 2150
Mr Noell Haddad

ARCHITECT
CAD Plans
39 Cumberland Road Auburn NSW 2144
Tel 02 8068 2177

PROJECT
**RESIDENTIAL APARTMENTS
SITE 2
59 CUDGEGONG RD ROUSE HILL**

DRAWING TITLE
LANDSCAPE SITE PLAN

SCALE
STATUS
DESIGNED/DRAWN
VERIFIED
DATE
JOB NUMBER
1:200 @ A1 / 1:400 @ A3
DEVELOPMENT APPLICATION
HG/CD
KS
10/03/2018
18708

DRAWING NUMBER
LSDA-101

ISSUE
C

LEGEND

PM 29281 USED AS BM
RL 63.083 (A.H.D.)

EXISTING/PROPOSED
SPOT LEVELS

CADASTRAL BOUNDARY

PROJECT SITE BOUNDARY

FEATURE ENTRY WALLS
(REFER ARCHITECT'S DRAWINGS)

MASONRY WALLING
(REFER ARCHITECT'S DRAWINGS)

PAVING TYPE 1 - FEATURE TILE
(REFER ARCHITECT'S DRAWINGS)

PAVING TYPE 2 - TILE
(REFER ARCHITECT'S DRAWINGS)

PAVING TYPE 3 - SANDSTONE
(REFER ARCHITECT'S DRAWINGS)

PAVING TYPE 4 - BRICK
(REFER ARCHITECT'S DRAWINGS)

PAVING TYPE 5 - DECOSE GRANITE
(REFER ARCHITECT'S DRAWINGS)

PAVING TYPE 6 - SOFT FALL
(REFER ARCHITECT'S DRAWINGS)

STEPPING STONES TYPE 1
(THROUGH PEBBLE MULCH)

DRAINAGE PIT
(REFER ENGINEER'S DRAWINGS)

LAWN AREA

STREET TREE PLANTING
(REFER DRAWING No. L01)

EVERGREEN TREE PLANTING
(REFER PLANT SCHEDULE)

TREE PLANTING
(REFER PLANT SCHEDULE)

DECIDUOUS TREE PLANTING
(REFER PLANT SCHEDULE)

SCREEN PLANTING
(REFER PLANT SCHEDULE)

GROUND COVER MIX(S) PLANTING
(REFER PLANT SCHEDULE)

ZONES

- 1

BUILDING ENTRIES
- 2

GROUND FLOOR APARTMENT PRIVATE ENTRIES
- 3

COMMUNAL BBQ ZONE
- 4

COMMUNAL CHILDREN'S PLAY ZONE
- 5

COMMUNAL PASSIVE RELAXATION ZONE
- 6

COMMUNAL GARDEN ZONE
- 7

COMMUNAL ROOM



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C	FOR DEVELOPMENT APPLICATION	31/05/18
B	FOR INFORMATION	19/03/18
A	FOR INFORMATION	15/03/18
REV	DESCRIPTION	DATE

NORTH

MAGNETIC NORTH

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PROJECT

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SITE 2
59 CUDGEGONG RD ROUSE HILL**

DRAWING TITLE

LANDSCAPE CONCEPT PLAN

SCALE

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VERIFIED

KS

DATE

10/03/2018

JOB NUMBER

























































18708

DRAWING NUMBER

LSDA-301

ISSUE

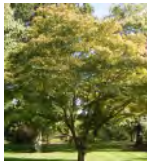
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PLANT SCHEDULE								N	S	E	W	ENTRIES	COMMUNAL	PRIVATE CY
SYMB.	BOTANICAL NAME	COMMON NAME	CENTRES	POT	HT / SP *	TOTAL	NATIVE							
TREE PLANTING														
	ACER PALMATUM	JAPANESE MAPLE	SITE SETOUT	45lt	3-8 x 3-5m	22	N	--	--	--	--	--	Y	Y
	ACMENA SMITHII	LILLY PILLY	SITE SETOUT	45lt	4-8 x 2-4m	10	Y	--	--	Y	Y	--	--	--
	CERATOPETALUM GUMMIFERUM	CHRISTMAS BUSH	SITE SETOUT	45lt	5-8 x 3-5m	15	Y	--	Y	--	--	--	Y	--
	CORYMBIA CITRIODORA	LEMON SCENTED GUM	SITE SETOUT	45lt	20-35 x 15-20m	6	Y	Y	--	--	--	--	--	--
	CORYMBIA MACULATA	SPOTTED GUM	SITE SETOUT	45lt	20-35 x 15-20m	12	Y	--	Y	--	--	--	Y	--
	ELAEOCARPUS EUMUNDII	SMOOTH QUANDONG	SITE SETOUT	75lt	8-13 x 1-3m	12	Y	--	--	Y	Y	Y	Y	--
	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	SITE SETOUT	45lt	5-10 x 4-8m	8	Y	--	--	Y	Y	--	--	--
	GLOCHIDION FERDINANDI	CHEESE TREE	SITE SETOUT	45lt	4-8 x 3-10m	8	Y	--	--	Y	Y	--	--	--
	LIVISTONA AUSTRALIS	CABBAGE PALM	SITE SETOUT	Ex Grnd	VARIABLE	22	Y	--	--	--	--	Y	--	--
	LAGERSTROEMIA 'SIOUX'	CREPE MYRTLE	SITE SETOUT	75lt	5-8 x 3-4m	8	N	--	--	--	--	--	Y	Y
	MAGNOLIA SOULANGEANA	CHINESE MAGNOLIA	SITE SETOUT	75lt	3-6 x 3-4m	8	N	--	--	--	--	--	Y	Y
	MAGNOLIA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	SITE SETOUT	75lt	3-5 x 2-3m	18	N	--	--	--	--	--	Y	--
	PYRUS CALLERYANA 'CAPITAL'	ORNAMENTAL PEAR	SITE SETOUT	75lt	8-13 x 1-2m	15	N	--	--	--	--	--	Y	Y
	ULMUS PARVIFOLIA	CHINESE ELM	SITE SETOUT	100lt	8-12 x 8-10m	5	N	--	--	--	--	--	Y	--
SCREEN PLANTING														
	ACMENA 'HEDGE MASTER'	LILLY PILLY CULTIVAR	700mm	300mm	1 x 1m **	136	Y	--	--	--	--	--	Y	--
	BANKSIA ROBUR	SWAMP BANKSIA	800mm	200mm	1-1.5 x 2m	110	Y	--	--	--	--	--	--	--
	BUXUS JAPONICA	JAPANESE BOX HEDGE	400mm	140mm	1 x 1m **	700	N	--	--	--	--	--	Y	--
	CAMELLIA 'PLANTATION PINK'	SASANQUA CAMELLIA	800mm	300mm	2-3 x1m **	30	N	--	--	--	--	--	Y	--
	DURANTA 'SHEENA'S GOLD'	GOLDEN DEWDROP	1000mm	200mm	1-3 x 3m	148	N	--	--	--	--	--	Y	--
	LOROPETALUM 'PLUM GORGEOUS'	PLUM GORGEOUS	800mm	200mm	3 x 2m	202	N	Y	Y	--	--	--	--	--
	MICHELIA FIGO	PORT WINE MAGNOLIA	800mm	300mm	4 x 2m	30	N	--	Y	--	--	--	Y	--
	MURRAYA 'MIN-A-MIN'	DWARF ORANGE JESSAMINE	600mm	200mm	1 x 1m **	54	N	--	--	--	--	--	Y	--
	MURRAYA PANICULATA	ORANGE JESSAMINE	800mm	300mm	2-3 x 1-2m	106	N	Y	Y	--	--	--	--	--
	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	1000mm	300mm	2-3 x 2m	76	N	--	--	--	--	--	--	--
	RHAPIS EXCELSA	LADY PALM	1000mm	300mm	VARIABLE	30	N	--	--	--	--	--	Y	--
	SYZYGIUM 'RESILIENCE'	LILLY PILLY CULTIVAR	800mm	300mm	2-3 x 2m	74	Y	--	--	--	--	--	Y	--
ACCENT PLANTING														
	ACER PALMATUM 'ATROPURPUREUM'	RED JAPANESE MAPLE	RANDOM	75lt	VARIABLE	18	N	--	--	--	--	--	--	Y
	ALCANTAREA IMPERIALIS	GIANT BROMELIAD	RANDOM	200mm	VARIABLE	48	N	--	--	--	--	Y	--	Y
	ASPLENIUM NIDUS	BIRD'S NEST FERN	RANDOM	200mm	VARIABLE	128	Y	--	--	--	--	Y	--	Y
	BLECHNUM 'SILVER LADY'	SILVER LADY FERN	RANDOM	200mm	VARIABLE	248	Y	--	--	--	Y	Y	Y	Y
	CRASSULA OVATA 'GOLLUM'	GOLLUM JADE	RANDOM	200mm	VARIABLE	48	N	--	--	--	--	Y	--	Y
	CRASSULA OVATA 'MINIMA'	MINIATURE LEAF JADE	RANDOM	200mm	VARIABLE	48	N	--	--	--	--	--	--	Y
	CYATHEA COOPERII	STRAW TREE FERN	RANDOM	45lt	VARIABLE	70	N	--	--	--	Y	--	Y	--
	CYCAS REVOLUTA	SAGO PALM	RANDOM	45lt	VARIABLE	80	Y	--	--	--	--	Y	--	--
	DORYANTHES EXCELSA	GYMEA LILY	RANDOM	200mm	VARIABLE	440	Y	Y	Y	Y	Y	--	Y	--
	DRACAENA 'MARGINATA'	VARIEGATED DRAGON TREE	1000mm	25lt	VARIABLE	24	N	--	--	--	--	--	--	Y
GROUND COVER PLANTING														
	AGAPANTHUS 'SNOW STORM'	DWARF WHITE AGGY	5/m2	140mm	350 x 400mm	264	N	--	--	--	--	--	--	--
	AJUGA REPTANS	BUGLE WEED	5/m2	140mm	150 x 400mm	132	N	--	--	--	--	--	--	--
	ANIGOZANTHOS FLAVIDUS 'BUSH PEARL'	HOT PINK KANGAROO PAW	5/m2	140mm	600 x 400mm	1560	Y	--	--	--	--	--	--	--
	ANIGOZANTHOS FLAVIDUS 'BUSH LANTERN'	YELLOW KANGAROO PAW	5/m2	140mm	600 x 400mm	1232	Y	--	--	--	--	--	--	--
	CLIVIA MINIATA 'YELLOW'	YELLOW CLIVEA	3/m2	140mm	600 x 600mm	184	N	--	--	--	--	--	--	--
	DIANELLA CAERULEA	BLUE FLAX LILY	4/m2	140mm	500 x 500mm	906	Y	--	--	--	--	--	--	--
	DIANELLA CAERULEA 'CASSA BLUE'	BLUE LEAF DIANELLA	4/m2	140mm	450 x 400mm	724	Y	--	--	--	--	--	--	--
	GREVILLEA POORINDA 'ROYAL MANTLE'	PROSTRATE GREVILLEA	3/m2	140mm	100 x 1000mm	124	Y	--	--	--	--	--	--	--
	HARDENBERGIA VIOLACEAE	PURPLE TWINING PEA	3/m2	140mm	300 x 600mm	136	Y	--	--	--	--	--	--	--
	HEMEROCALLIS FULVA	DAY LILY	4/m2	140mm	450 x 400mm	700	N	--	--	--	--	--	--	--
	ISOLEPIS NODOSA	KNOBBY CLUB RUSH	4/m2	140mm	500 x 400mm	324	Y	--	--	--	--	--	--	--
	LOMANDRA 'TANIKA'	DWARF BASKET GRASS	3/m2	140mm	450 x 450mm	1860	Y	--	--	--	--	--	--	--
	LOROPETALUM 'PURPLE PIXIE'	DWARF LOROPETALUM	3/m2	140mm	600 x 700mm	448	N	--	--	--	--	--	--	--
	METROSIDEROS MINI CHRISTMAS	DWARF CHRISTMAS BUSH	800mm	140mm	1000 x 1000mm	72	N	--	--	--	--	--	--	--
	PHILODENDRON 'XANADU'	XANADU	3/m2	140mm	600 x 600mm	864	N	--	--	--	--	--	--	--
	PHORMIUM TENAX 'ATROPURPUREUM'	DWARF RED NZ FLAX	3/m2	140mm	600 x 600mm	76	N	--	--	--	--	--	--	--
	RHAPHIOLEPIS 'BALLERINA'	DWARF PINK HAWTHORN	3/m2	140mm	600 x 600mm	248	N	--	--	--	--	--	--	--
	RHAPHIOLEPIS 'COSMIC WHITE'	DWARF WHITE HAWTHORN	3/m2	140mm	600 x 600mm	312	N	--	--	--	--	--	--	--
	TRACHELOSPERMIUM JASMINOIDES	CHINESE STAR JASMINE	3/m2	140mm	500 x 500mm	448	N	--	--	--	--	--	--	--
	TRACHELOSPERMIUM 'TRICOLOUR'	VARIEGATED STAR JASMINE	3/m2	140mm	500 x 500mm	728	N	--	--	--	--	--	--	--
	VIOLA HEDERACEA	NATIVE VIOLET	3/m2	TUBE	100 x 800mm	1600	Y	--	--	--	--	--	--	--
	WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	800mm	140mm	1000 x 1000mm	148	Y	--	--	--	--	--	--	--

* HEIGHT AND SPAN INDICATIVE. SUBJECT TO ONSITE LOCAL ENVIRONMENTAL FACTORS. USE ONLY AS A GUIDE.

** MAINTAIN TO NOTED HEIGHT.

TREE PLANTING



Acer palmatum
JAPANESE MAPLE



Acmena smithii
LILLY PILLY



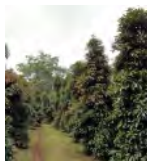
Ceratopetalum gummiferum
CHRISTMAS BUSH



Corymbia citriodora
LEMON SCENTED GUM



Corymbia maculata
SPOTTED GUM



Elaeocarpus eumundii
SMOOTH QANDONG



Elaeocarpus reticulatus
BLUEBERRY ASH



Glochidion ferdinandi
CHEESE TREE



Lagerstroemia 'Sioux'
CREPE MYRTLE



Livistona australis
CABBAGE PALM



Magnolia soulangeana
CHINESE MAGNOLIA



Magnolia 'Little Gem'
LITTLE GEM MAGNOLIA



Pyrus calleryana 'Capital'
ORNAMENTAL PEAR



Ulmus parvifolia
CHINESE ELM

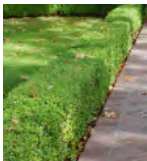
SCREEN PLANTING



Acmena 'Hedge Master'
LILLY PILLY CULTIVAR



Banksia robur
SWAMP BANKSIA



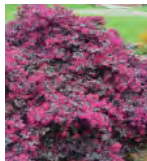
Buxus japonica
JAPANESE BOX



Camellia 'Plantation Pink'
SASANQUA CAMELLIA



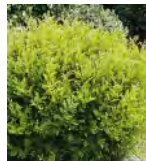
Duranta 'Sheena's Gold'
GOLDEN DEWDROP



Loropetalum 'Plum Gorgeous'
PLUM GORGEOUS



Michelia figo
PORT WINE MAGNOLIA



Murraya 'Min-a-Min'
DWARF MURRAYA



Murraya paniculata
ORANGE JESSAMINE



Raphiolepis indica
INDIAN HAWTHORN



Rhapis excelsa
LADY PLAM



Syzygium 'Resilience'
LILLY PILLY CULTIVAR

ACCENT PLANTING



Acer palmatum 'Atropurpureum'
RED JAPANESE MAPLE



Alcantarea 'Silver Plum'
GIANT BROMELIAD



Asplenium nidus
BIRD'S NEST FERN



Blechnum 'Silver Lady'
SILVER LADY FERN



Crassula ovata 'Gollum'
GOLLUM



Crassula ovata 'Minima'
MINIATURE LEAF JADE



Cyathea cooperii
STRAW TREE FERN



Cycas revoluta
SAGO PALM



Doryanthes excelsa
GYMEA LILY



CONSTRUCTION NOTES

HARD LANDSCAPE

FENCING
REFER TO ARCHITECTURAL PLANS AND SPECIFICATION.

RETAINING WALLS
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS. CONSTRUCTION AND WATER PROOFING AS PER ENGINEERING DETAILS AND SPECIFICATION.

FOOTPATHS
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS. CONSTRUCTION AS PER ENGINEERING DETAILS AND SPECIFICATION.

LIGHTING
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS.

TIMBER GARDEN EDGE
TIMBER EDGE - 75x25mm HARDWOOD WITH 50x50mm HARDWOOD PEGS IN EACH CORNER.

SOFT LANDSCAPE

STANDARDS
STORAGE AND HANDLING OF PESTICIDES TO AS 2507. SITE AND IMPORTED TOPSOIL TO AS 4419. COMPOSTS, SOIL CONDITIONERS AND MULCHES TO AS 4454.

SUBMISSIONS
SOIL: TESTS FOR IMPORTED TOPSOIL WITH CERTIFICATE NOTING THE SUITABILITY OF EACH SOIL TYPE FOR ITS SPECIFIED USE, SIMILARITY TO NATURALLY OCCURRING LOCAL SOIL. SUITABILITY FOR ESTABLISHMENT AND ON-GOING VIABILITY OF THE SITE SPECIFIED VEGETATION, AND ABSENCE OF ANY WEED PROPAGULES OR CONTAMINANTS.
SAMPLES: SUBMIT REPRESENTATIVE SAMPLES OF EACH MATERIAL PACKED TO PREVENT CONTAMINATION AND LABELLED TO INDICATE SOURCE AND CONTENT. SAMPLES TO REMAIN ON SITE FOR THE DURATION OF THE CONSTRUCT WORKS.

PLANTING MEDIA
IMPORTED TOPSOIL AND/OR TOPSOIL WON AND STOCKPILED ON SITE. TOPSOIL TO BE OF A FRIABLE, PORUS NATURE. FREE FROM WEEDS AND WEED SEDS, BULBS, CORMS AND VEGETABLE PROPAGULES. FREE FROM REFUSE OR MATERIALS TOXIC TO HUMANS, ANIMALS OR PLANTS, FREE FROM STUMPS, ROOTS, CLAY LUMPS OR STONES LARGER THEN 50 mm IN SIZE. pH RANGE 5.5 to 7.5. MAXIMUM SOLUBLE SALT CONTENT 0.06% BY MASS. MINIMUM ORGANIC CONTENT 3% BY MASS.

PLANTING MEDIA TYPE A TO BE LIGHT WEIGHT PLANTER BOX MIX WITHOUT CLAY FINES.

PLANTING MEDIA TYPE B TO BE INORGANIC LIGHT WEIGHT PLANTER BOX MIX WITHOUT CLAY FINES OR ORGANIC MATTER.

PLANTING MEDIA TYPE C TO BE LIGHT WEIGHT PLANTER BOX MIX WITHOUT CLAY FINES AND SUITABLE FOR TURF UNDERLAY.

PLANTING MEDIA TYPE D TO BE ORGANIC GARDEN MIX AS PER AS 4419.

PLANTING MEDIA TYPE E TO BE TURF UNDERLAY MIX.

FERTILISER
ORGANIC TYPE. 6.3:1.8:2.8
NITROGEN:PHOSPHORUS:POTASSIUM RATIO.

MULCH
ORGANIC HORTICULTURAL PINE BARK LANDSCAPE MULCH. 20 mm GRADED.

INORGANIC PEBBLE MULCH 5-40mm GRADED.

HARDWOOD STAKES AND TIES
FOR ADVANCED STOCK. 2 STAKES, 25 x 25 x 2000 mm. SHARPENED AT ONE END DRIVEN INTO THE GROUND 1/3 OF OVERALL LENGTH. SECURE HESSIAN WEBBING IN A FIGURE OF EIGHT, STAPELLED TO STAKES.

PLANT MATERIALS
TURF: SIR WALTER BUFFALO. FREE FROM WEEDS, SOIL PESTS AND DISEASE. 25 mm DEPTH OF DENSE, WELL ROOTED, VIGOROUS GRASS GROWTH WITH 25 mm DEPTH OF TOPSOIL. SUPPLY SOUND UNBROKEN ROLLS IN STANDARY INDUSTRY LENGTHS AND 300 mm WIDTH.
CONTAINER STOCK: SPECIES AS PER SCHEDULE AND CLEARLY LABELLED. HEALTHY, OF GOOD FORM AND NOT SOFT OR FORCED. LARGE ROBUST ROOT SYSTEM, NOT ROOT BOUND. FREE FROM DISEASE AND INSECT PESTS. TREE STOCK SHOULD HAVE A SINGLE LEADING SHOOT.

GARDEN BED AREAS ON GRADE
PREPARATION: TRIM SUBGRADE TO BULK EARTH WORKS LEVELS AS REQUIRED BY FINISHED SURFACE LEVELS. HERBICIDE TREATMENT TO SUPPLIER'S INSTRUCTIONS, 2 WEEKS PRIOR TO PLANTING.
SOIL CONDITIONING: TO SOIL TESTING RESULTS. GENERALLY GYPSUM.
RIPPING AND CULTIVATION: RIP THE SURFACE AT 500 mm CENTRES TO A DEPTH OF 300 mm AND BREAK THE TOP 200mm OF PLANTING BED BY CULTIVATION TO A MAXIMUM SIZE OF 50 mm TO PRODUCE A LOOSE SURFACE AND REMOVE ALL LARGE STONES, RUBBISH AND OTHER MATERIALS THAT MAY HINDER PLANT ESTABLISHMENT.
PLANTING MEDIA: APPLY 300 mm DEPTH OF APPROVED TOPSOIL IN UNIFORM 100 mm DEPTH LAYERS CULTIVATING THE FIRST 100 mm INTO THE SUB-GRADE, THEN LIGHTLY COMPACTING EACH OTHER LAYER TO MAKE UP THE NECESSARY GRADES. ENSURE FINISHED SOIL LEVEL ALLOWS FOR APPLICATION OF MULCH.
PLANT: PLANTING HOLE SHALL BE 2 TIMES ROOTBALL WIDTH. PLACE PLANT IN HOLE TO FINISH TOP OF ROOTBALL FLUSH WITH SURROUNDING GARDEN BED AND BACKFILL WITH TOPSOIL. ADD APPROVED SLOW RELEASE FERTILISER. WATER IMMEDIATELY.
MULCH: PLACE APPROVED MULCH AT 75 mm DEPTH TO ENTIRE GARDEN BED, DISHED AROUND PLANT STEMS TO PREVENT COLLAR ROT. ENSURE FINISHED MULCH LEVEL IS 25 mm BELOW PAVED AREAS, KERBS OR GARDEN EDGING.
RAISED GARDEN BED: SAME AS ABOVE. ENSURE WATER PROOF MEMBRANE TO REAR OF WALL AND AGRICULTURAL DRAIANGE TO BASE OF WALL IS PROVIDED. REFER TO ENGINEERING PLANS AND SPECIFICATION.

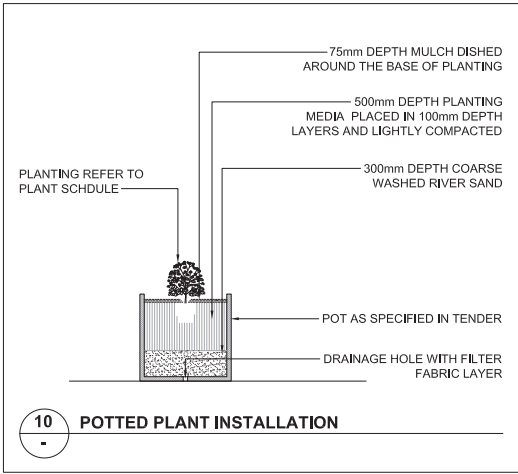
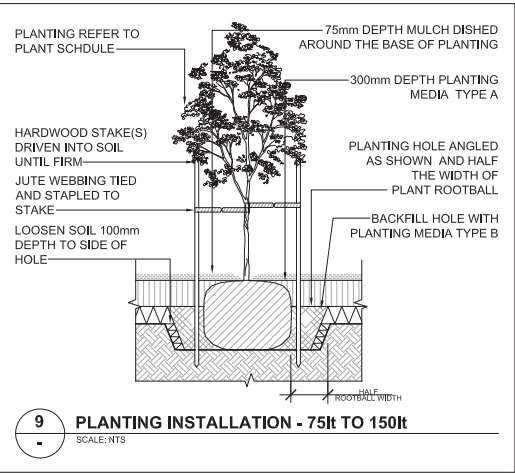
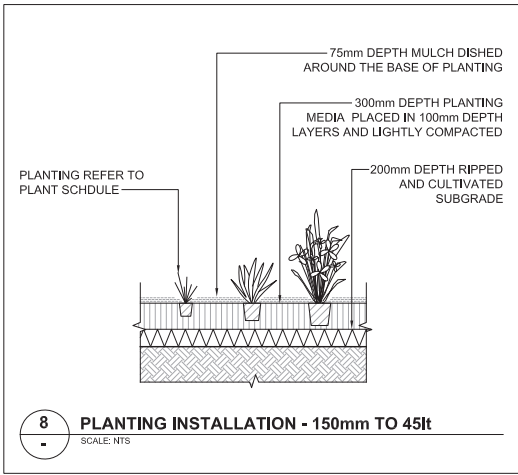
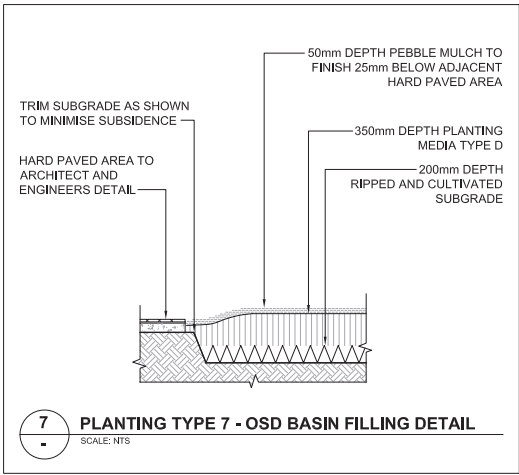
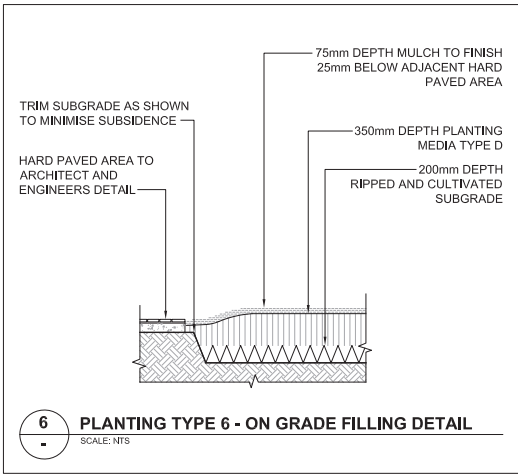
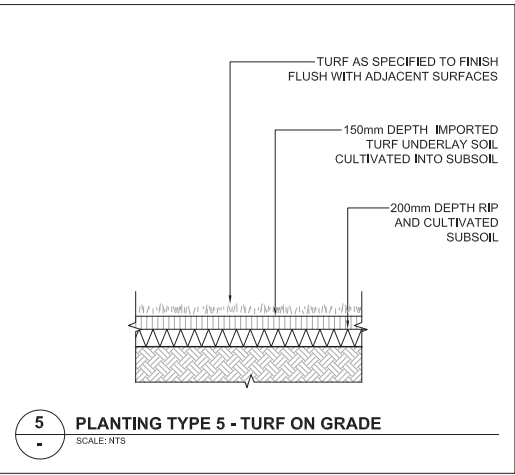
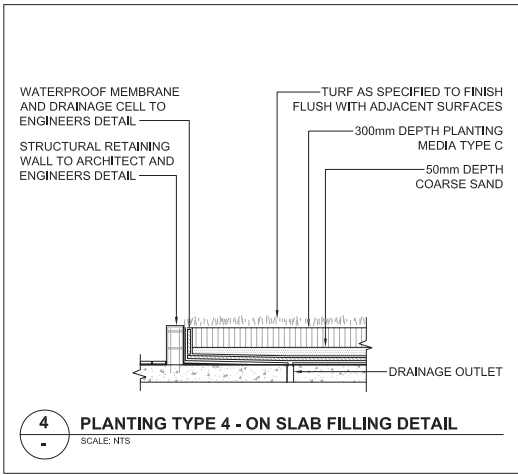
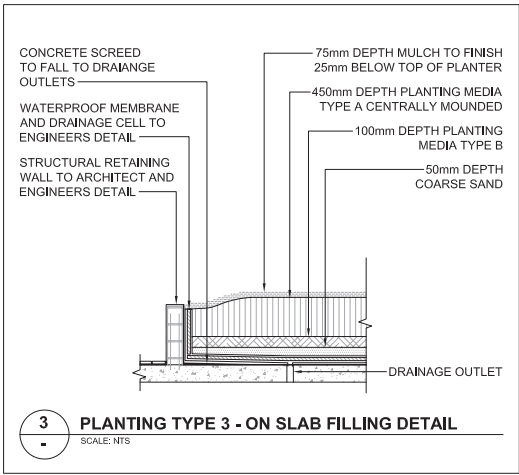
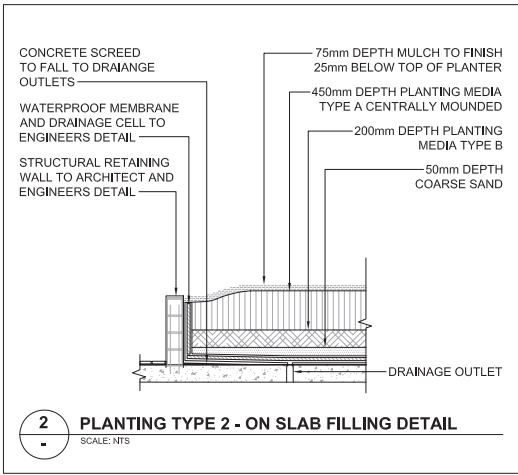
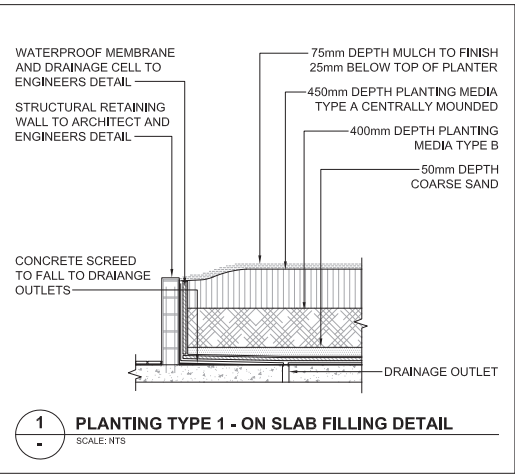
RAISED GARDEN BED AREAS ON CONCRETE SLAB
PREPARATION: CONCRETE SCREED, WATERPROOFING, PROTECTION BOARDING, DRAINAGE CELL AND CLEAR CONNECTION TO SITE STORMWATER SYSTEM TO ENGINEER'S DETAILS AND SPECIFICATION.
PLANTING MEDIA: LIGHT WEIGHT PLANTER BOX MIX INSTALLED IN 100 mm LAYERS, LIGHTLY COMPACTED TO MAKE UP PROVIDED DEPTHS ALLOWABLE. ENSURE FINISHED SOIL LEVEL ALLOWS FOR MULCH.
PLANT: PLANTING HOLE SHALL BE 2 TIMES ROOTBALL WIDTH. PLACE PLANT IN HOLE TO FINISH TOP OF ROOTBALL FLUSH WITH SURROUNDING GARDEN BED AND BACKFILL WITH TOPSOIL. ADD APPROVED SLOW RELEASE FERTILISER. WATER IMMEDIATELY. ENSURE WATER PROOF MEMBRANE IS NOT DAMAGED.
MULCH: PLACE APPROVED MULCH AT 75 mm DEPTH TO ENTIRE GARDEN BED, DISHED AROUND PLANT STEMS TO PREVENT COLLAR ROT. ENSURE FINISHED MULCH LEVEL IS 25 mm BELOW PLANTER BOX EDGE.

IRRIGATION
FULLY AUTOMATIC DRIP IRRIGATION TO BE PROVIDED FOR ALL GARDEN BED AND LAWN AREAS. DESIGN AND CONSTRUCT TO MEET SYDNEY WATER REQUIREMENTS AND ALL RELEVANT AUSTRALIAN STANDARDS.

FOR ALL COMMUNAL GARDEN AREAS CONNECT THE IRRIGATION SYSTEM TO THE RAIN WATER TANK AND SUPPLEMENT WITH TOWN WATER WHEN REQUIRED.

ALL PRIVATE GARDEN AREAS TO BE IRRIGATED BY TOWN WATER ONLY.

PLANTING ESTABLISHMENT
52 WEEK PLANTING ESTABLISHMENT PERIOD. WATERING AS PER SEASONAL REQUIREMENTS DICTATE. WEEDING AS NECESSARY. REPLACEMENT OF DAMAGED, STOLEN OR FAILED PLANTS. LAWN MOWING ON A WEEKLY BASIS, WITH TOP DRESSING AT THE END OF PLANTING ESTABLISHMENT PERIOD. REMOVE STAKES AND TIES.



DRAWING NOTES
1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS.
5. THE LEVELS SHOWN ON THIS PLAN HAVE BEEN BASED ON SURVEY BY CEDAR SURVEYING, DATED APRIL 2012.
THIS DRAWING IS AN UNCONTROLLED COPY, UNLESS NOTED OTHERWISE.

A	FOR DEVELOPMENT APPLICATION	30/03/18	
REV	DESCRIPTION	DATE	

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MAGNETIC NORTH

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CLIENT
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Mr Noell Haddad
ARCHITECT
CAD Plans
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PROJECT
RESIDENTIAL APARTMENTS SITE 2 59 CUDGEGONG RD ROUSE HILL
DRAWING TITLE
LANDSCAPE DETAILS TYPICAL CONSTRUCTION

SCALE
STATUS
DESIGNED/DRAWN
VERIFIED
DATE
JOB NUMBER
DRAWING NUMBER
NOT TO SCALE
DEVELOPMENT APPLICATION
HG/CD
KS
10/03/2018
18708
LSDA-502
ISSUE
A

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